



Application for Project Authorization Under the New Jersey Register of Historic Places Act

NJ Department of Environmental Protection • Natural & Historic Resources • Historic Preservation Office

Date April 19, 2022

Applicant City of Newark

State, County, or Municipal agency or instrumentality thereof, applying for authorization.

Note: If an application is being submitted by an authorized representative on behalf of a public agency, written authorization from the public agency must be submitted with the application.

Project Name Washington Park Revitalization

Contact Person(s) _____

Address 920 Broad Street, Newark, NJ 07102

Telephone _____ FAX _____ E-mail _____

(FOR HPO USE ONLY) Technically and Professionally Complete Date _____

New Jersey Register Listed Property Affected by Project

Name of Listed Property or Historic District James Street Commons Historic District; "Indian and the Puritan" Sculpture

Address of Listed property Washington Park
33 Washington Street

Block # 23 Lot # 1

Municipality City of Newark County Essex County

A. Required Documentation

Please enclose the documentation listed below as required by N.J.A.C. 7:4-7.1 (d). The required documentation, taken with the project description, must be sufficient to completely describe the proposed undertaking. When using attachments, please label using the letters and numbers (e.g., A.1.c.) as listed herein. See Attachment A

1. Complete lists (include addresses) of:

a. Local historical societies See Attachment A.1

b. Local historic preservation commissions See Attachment A.1

c. All public and private property owners of registered property directly affected by the project. N.J.A.C. 7:4-7.1(d) stipulates that this list shall be the list of all private and public property owners (including right-of-way owners) named in the official municipal tax records and maps as of the date of the application's submission and shall be notarized by the appropriate municipal official. This list is *not* the list of property owners within 200 feet of the project; (although submission of that list would be acceptable) it is the list of owners of registered properties which are directly physically impacted by the project. See Attachment A.1 and Appendix A

- d. All affected local government units, any agencies or instrumentalities thereof concerned with historic preservation, and any statewide organization and local organization specifically concerned with historic preservation in the area of the undertaking's potential impact. See Attachment A

Applications which do not include these four lists are not complete and cannot be reviewed until this information is received.

2. Maps See Attachment A.2
3. Photographs, both of the overall project area and of specific project work areas. Photographs should be labeled as to location and keyed to a plan sheet. (Although optional, slides may augment the application and facilitate the presentation to the Historic Sites Council of a project that is an encroachment.) Photographs should be labeled identifying site location and keyed to architectural or engineering plans. See Attachment A.3
4. Complete architectural or engineering plans-including a site plan (2 sets) See Attachment A.4
5. Specifications (1 set) N/A
6. Proposed agreements (easements, lease, deed, covenant etc.) applicable to the undertaking. N/A
7. If the application proposes demolition of all or a substantial portion of a property, the application shall include a structural assessment and an evaluation of whether the property could be reasonably repaired, to be prepared by an architect or engineer with demonstrated experience with historic properties. N/A
8. If the application proposes relocation of a New Jersey Register listed property, information and documentation required in N.J.A.C. 7:4-3.2(c) must also be submitted. N/A

B. Project Description

Please describe the proposed undertaking in full detail. Where functional or programmatic constraints call for changes to historic configurations, those constraints should be explained very clearly. (Use lettered attachments when necessary.)

See Attachment B

C. Statement of Purpose

Please state the need and/or purpose for the proposed undertaking. Address the public benefit of the proposed project. (Use lettered attachments when necessary)

See Attachment C

D. Alternatives/Mitigation

Please describe alternatives (or actions taken) that would avoid, reduce, or mitigate any encroachment of the project on the affected New Jersey Register listed property. Discuss feasibility and prudence of alternatives. (Use lettered attachments when necessary.)

See Attachment D

E. Project Funding

Please list sources of funding, including federal funds.

City of Newark
Audible, Inc.
Fidelco Realty Group
Mellon Foundation
Prudential Insurance Company of America

Harriet Tubman Monument Brick Campaign
Additional funding to be provided by adjacent property owners

F. Permits

Please list permits needed for the proposed project, including any necessary federal permits, licenses or approvals.

Newark Preservation and Landmarks Commission Approval
Newark Central Planning Board Site Plan Approval
Uniform Construction Code application

OTHER INFORMATION

The following information may also be needed depending on the nature of the project:

ARCHAEOLOGY:	If an archaeological survey or other pertinent survey has been undertaken for this project, it must be included with the application. In all cases, when a professional archaeological survey is not included with (or proposed in) the application and the project will include ground disturbance, the rationale for not conducting survey must be enclosed. This rationale for all areas of potential ground disturbance should include detailed documentation of known prior uses (both modern and historic) and prior disturbances. Areas of potential ground disturbance include construction staging areas, areas of grading, etc. on the New Jersey Register listed property.	
CIVIL ENGINEERING (PARTICULARLY ROAD & BRIDGE PROJECTS):	Data which informs the basis of the project's design such as: existing road limitations, traffic counts/studies, road classification, design speeds, design hourly volume, and predicted levels of service. Please provide specific references to the relevant AASHTO design tables. May include an Alternatives Analysis Report.	See Appendix B
CODE:	Where a code requirement affects the treatment of historic features or spaces, please provide specific reference to the section of the code involved and indicate if flexible application of the code for historic buildings as allowed by the New Jersey Uniform Construction Code has been sought or granted.	N/A
ECONOMICS:	If economic factors affect an aspect of the project or the design of a project as a whole, a detailed and documented breakdown of the costs involved should be attached to the application.	N/A
ENGINEERING:	If engineering concerns such as structural stability or load bearing capacity, etc. affect the project's impact on the historic property, engineering reports, prepared by an engineer with demonstrated experience working with similar historic resources, should be attached to the application.	N/A

LIST OF ALL DOCUMENTS

Please provide a complete listing of all documents including title. In all cases, when a professional archaeological survey is not included with (or proposed in) the application and the project will include ground disturbance, the rationale for not conducting survey must be enclosed.

See attached List of Documents

REVIEW PROCESS

Applications are submitted to the Historic Preservation Office (HPO). Within 30 days, the HPO will evaluate the application for technical and professional completeness. Faxed copies of applications do not formally initiate project review. Within 45 days of receipt of a technically complete application, HPO will determine if the project constitutes an encroachment and notify the applicant accordingly. If the HPO determines that a project does not constitute an encroachment (that the project is in conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties), the application is approved administratively by the HPO and does not require review before the Historic Sites Council. A project which constitutes an encroachment is scheduled for an upcoming Historic Sites Council meeting, and the applicant is so notified. The Historic Sites Council makes a recommendation in the form of a formal resolution to the Commissioner of the Department of Environmental Protection. The Commissioner must act within 120 days of receipt of a technically complete application. When the applicant has tight project schedules and deadlines to meet, the HPO strongly encourages early submission of applications.



Mail Code 501-04B
State of New Jersey
Department of Environmental Protection
HISTORIC PRESERVATION OFFICE
PO Box 420 Trenton, NJ 08625-0420
TEL: (609) 984-0176 FAX: (609) 984-0578
www.nj.gov/dcp/hpo



List of Documents:

Attachment A:	Required Documentation
A.1:	Interested Parties
A.2:	Maps
A.3:	Photographs
A.4:	Project Plans
A.5:	Historic Images and Figures
Attachment B:	Project Description
Attachment C:	Statement of Purpose
Attachment D:	Alternatives/Mitigation
Bibliography	
Appendix A:	Notarized List of Public and Private Property Owners
Appendix B:	Phase IB Archaeological Survey

ATTACHMENT A:
REQUIRED DOCUMENTATION

ATTACHMENT A.1:
INTERESTED PARTIES

- a. Local Historical Societies:

Newark History Society
546 N 7th Street
Newark, NJ 07107
- b. Local Historic Preservation Commissions:

Elizabeth Del Tufo, President
City of Newark Preservation & Landmarks Committee
P.O. Box 1066
Newark, NJ 07101
- c. Public and Private Property Owners:

See Appendix A
- d. Local Government Units, Agencies and Statewide Organizations:

Christopher Watson
City of Newark Central Planning Board
Office of Planning and Zoning
Department of Economic and Housing Development
920 Broad Street, Room 112
Newark, NJ 07102

Joseph N. DiVincenzo, Jr.
The Essex County Department of Parks, Recreation, and Cultural Affairs
115 Clifton Avenue
Newark, NJ 07104

Steven Tettamanti, Executive Director
New Jersey Historical Society
52 Park Place
Newark, NJ 07102

Matt Pisarski, AICP, PP, President
Preservation New Jersey
30 South Warren Street
Trenton, NJ 08608
- e. Partners

Fidelco Realty Group
225 Milburn Avenue, # 202
Millburn, NJ 07041

Audible, Inc.
1 Washington Place
Newark, NJ 07102

Rutgers University, Newark
Office of Communications
Blumenthal Hall, Room 210
249 University Avenue
Newark, NJ 07102

Prudential Insurance Company of America
213 Washington Street
Newark, NJ 07102

L&M Development Partners
419 Park Avenue South, Floor 18
New York, NY 10016

New Jersey Performing Arts Center
1 Center Street
Newark, NJ 07102

The Berger Organization
50 Park Place
Newark, NJ 07102

The Newark Museum
49 Washington Street
Newark, NJ 07102

Newark Public Library
5 Washington Street
Newark, NJ 07101

f. Consulting Parties

Cliff Garten & Associates
1315 Preston Way
Venice, CA 90291

Edgewater Design, LLC
101 S. Harrison Street
East Orange, NJ 07018

KS Engineers, P.C.
494 Broad Street
Newark, NJ 07102

Chiesa Shahinian & Giantomasi PC
156 W. State Street
Trenton, NJ 08608

Mary Delaney Krugman Associates
62 Myrtle Avenue
Montclair, NJ 07042

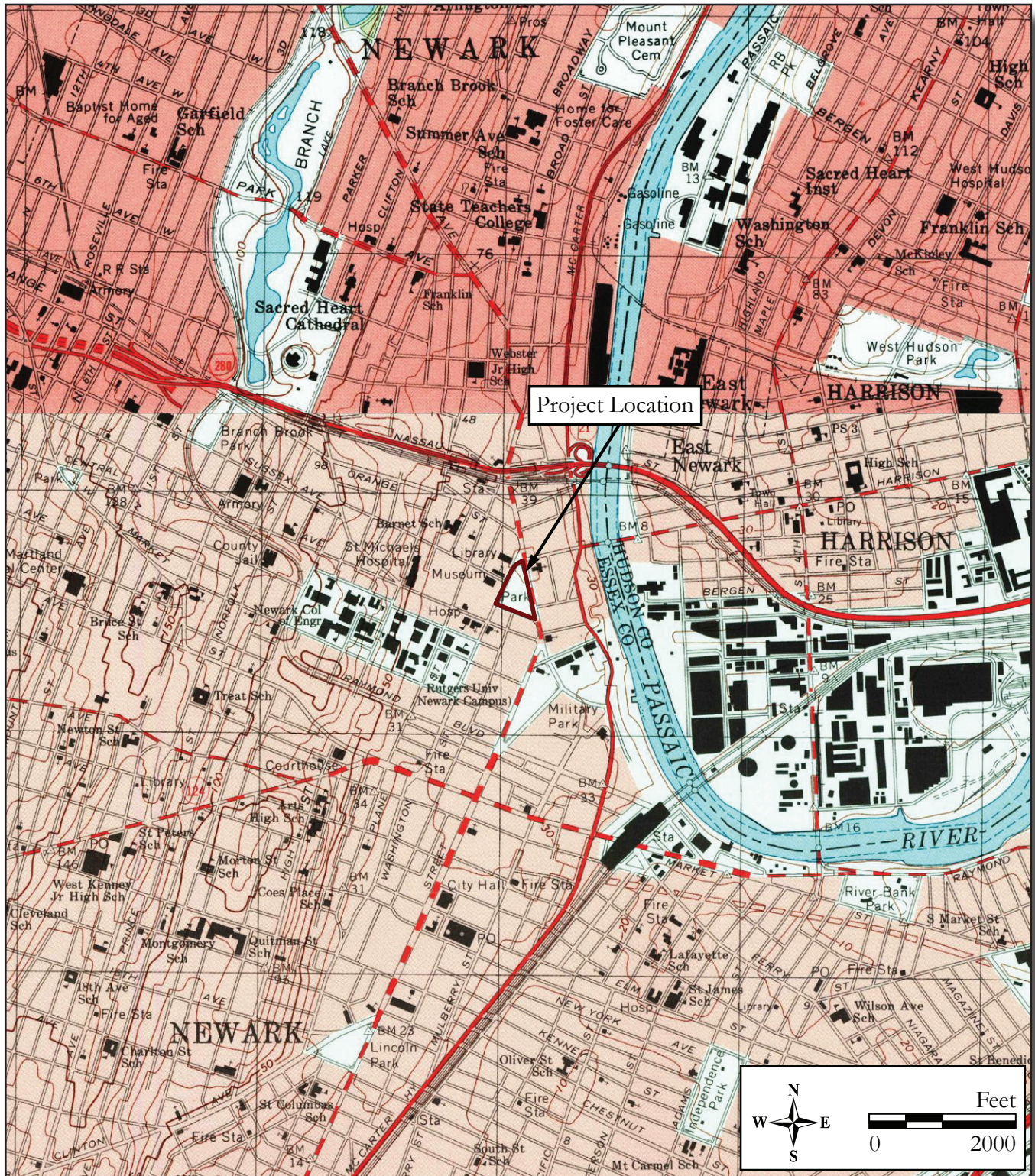
Tracey Knuckles
Bloomberg Associates
25 East 78th Street
New York, NJ 10075

ATTACHMENT A.2:

MAPS

List of Figures:

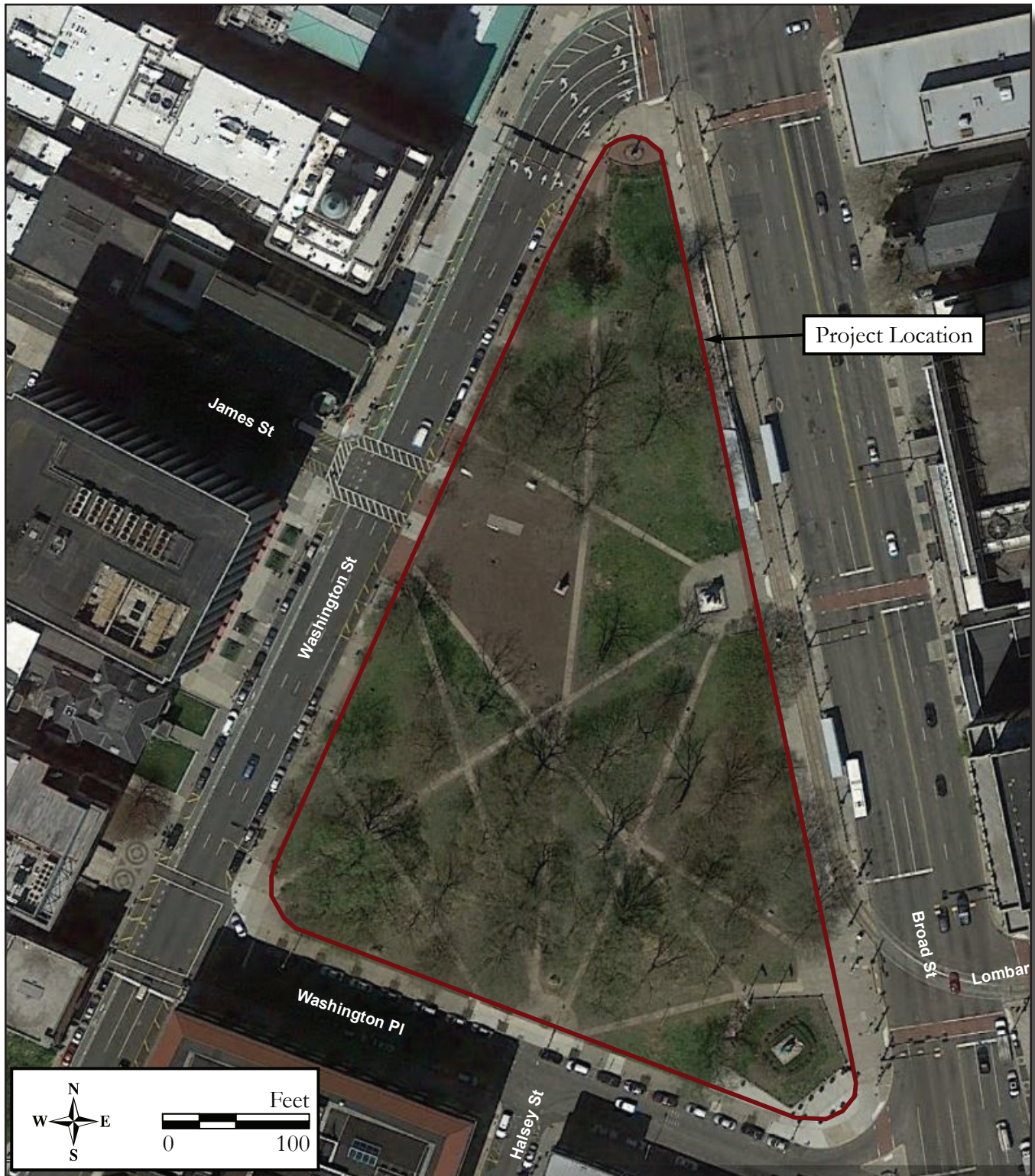
1. U.S.G.S. Map
2. County Map
3. Aerial Map
4. Aerial Map with Historic District Boundaries



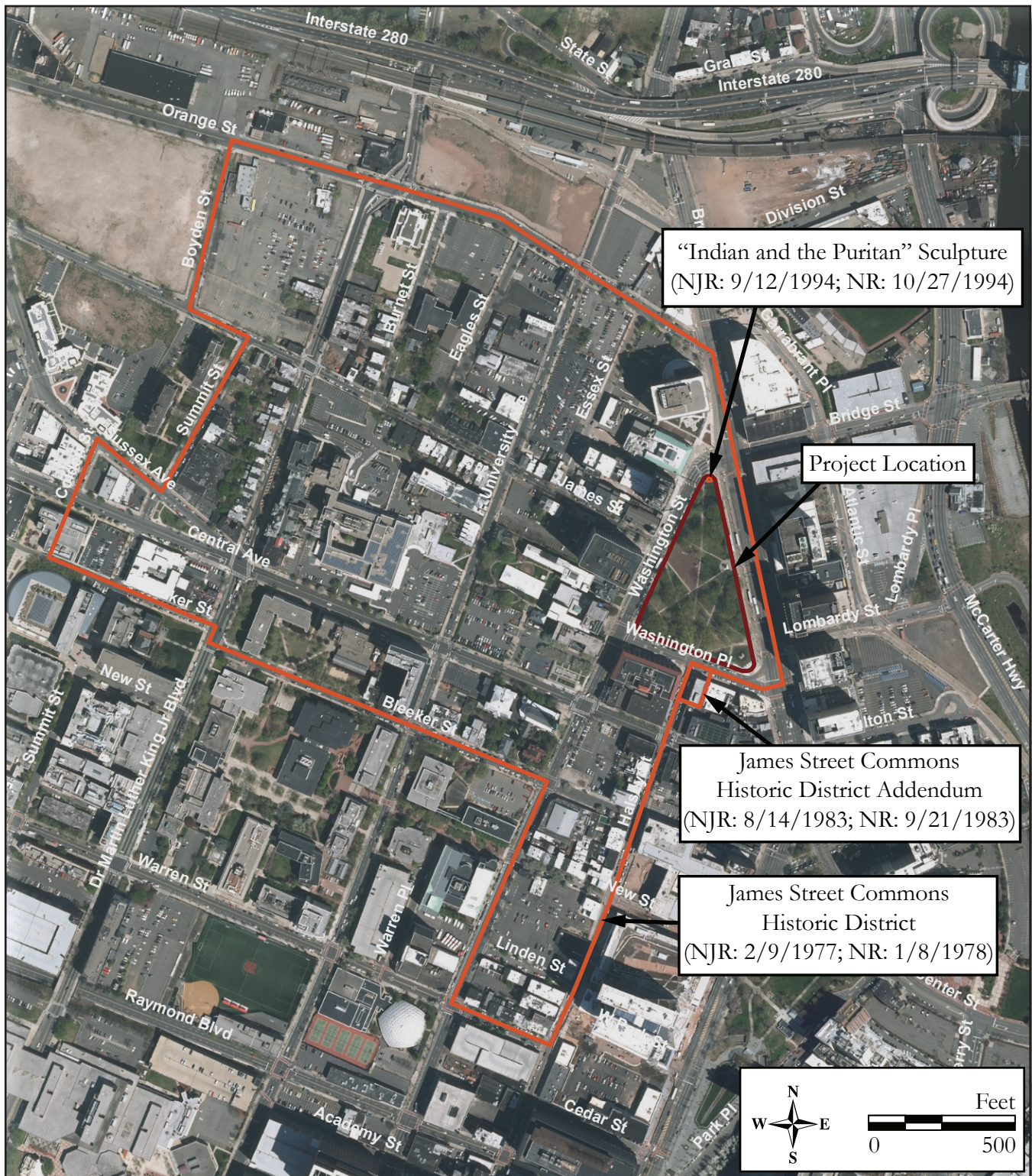
Attachment A.2 – Figure 1: U.S.G.S. Map
(from 1995 U.S.G.S. 7.5' Quadrangle: Orange, NJ and Elizabeth, NJ-NY).



Attachment A.2 – Figure 2: County Map
(World Street Map, ESRI 2018).



Attachment A.2 – Figure 3: Aerial map
(from NJGIS Digital Orthographic Imagery, 2012).



Attachment A.2 – Figure 4: Aerial map illustrating the project location, the boundaries of the James Street Commons Historic District and the James Street Commons Historic District Addendum (World Street Map, ESRI 2018).

ATTACHMENT A.3:

PHOTOGRAPHS



Attachment A.3 – Figure 1: Photo location map
(World Street Map, ESRI 2018).



Attachment A.3 - Plate
1: Perspective view of
Washington Park at the
intersection of Washington
Street and Washington Place.

Photo view: Northeast

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate
2: Perspective view of
Washington Park.

Photo view: Northeast

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 3: Perspective view of Washington Park along Washington Street.

Photo view: Northeast

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 4: View of Washington Park along its southern border. *The Newark Firefighters World War II Veteran Memorial* (2012) is visible in the foreground.

Photo view: Southeast

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 5:
View of Washington Park
at the axis of Halsey Street
along the park's southern
boundary. The path network
(left) and the 1941 *First
Academy in Newark Marker*
(right) are both visible.

Photo view: Northeast

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 6:
View of the monument
George Washington Bids Farewell
(1912) at the park's southeast
corner at the intersection of
Washington Place and Broad
Street.

Photo view: Northwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 7: Perspective view of Washington Park from an entry along Broad Street. Multiple monuments are visible, including the *Line of March of Washington's Army* (1932), *Don Luis Muñoz Rivera* (1959), *Seth Boyden* (1890), and *Christopher Columbus* (1927).

Photo view: Northwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 8: View of the east border of Washington Park along Broad Street showing the New Jersey Transit Light Rail and Bus canopies.

Photo view: Northwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 9: Perspective view of Washington Park along the east border facing Washington Place. *George Washington Bids Farewell* (1912) is visible in the background.

Photo view: Southeast

Photographer: Lauren Szeber

Date: February 23, 2019



Attachment A.3 - Plate 10: View of *Christopher Columbus* (1927) from the east border of Washington Park.

Photo view: Northwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 11: Perspective view of Washington Park. The Ballantine Mansion (right) is visible in the background.

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 12: Perspective view of Washington Park with *Seth Boyden* (1890) visible in the foreground.

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 13:
View of *Seth Boyden* (1890)
with the U.S. Department
of Veterans Affairs Newark
Regional Benefit Office
visible in the background.

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate
14: Perspective view of
Washington Park.

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 15:
View of the west border
of Washington Park along
Washington Street.

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate
16: Perspective view of
Washington Park. Visible
in the background is the
monument erected in honor
of Dr. Abraham Coles
(1897).

Photo view: South

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 17: Perspective view of Washington Park. *Dr. Abraham Coles* (1897) is visible in the background (left).

Photo view: Southwest

Photographer: Lauren Szeber

Date: February 12, 2019



Attachment A.3 - Plate 18: View of *The Indian and the Puritan* (1916) located at the intersection of Washington and Broad Streets and Washington Park's northernmost point.

Photo view: South

Photographer: Lauren Szeber

Date: February 12, 2019



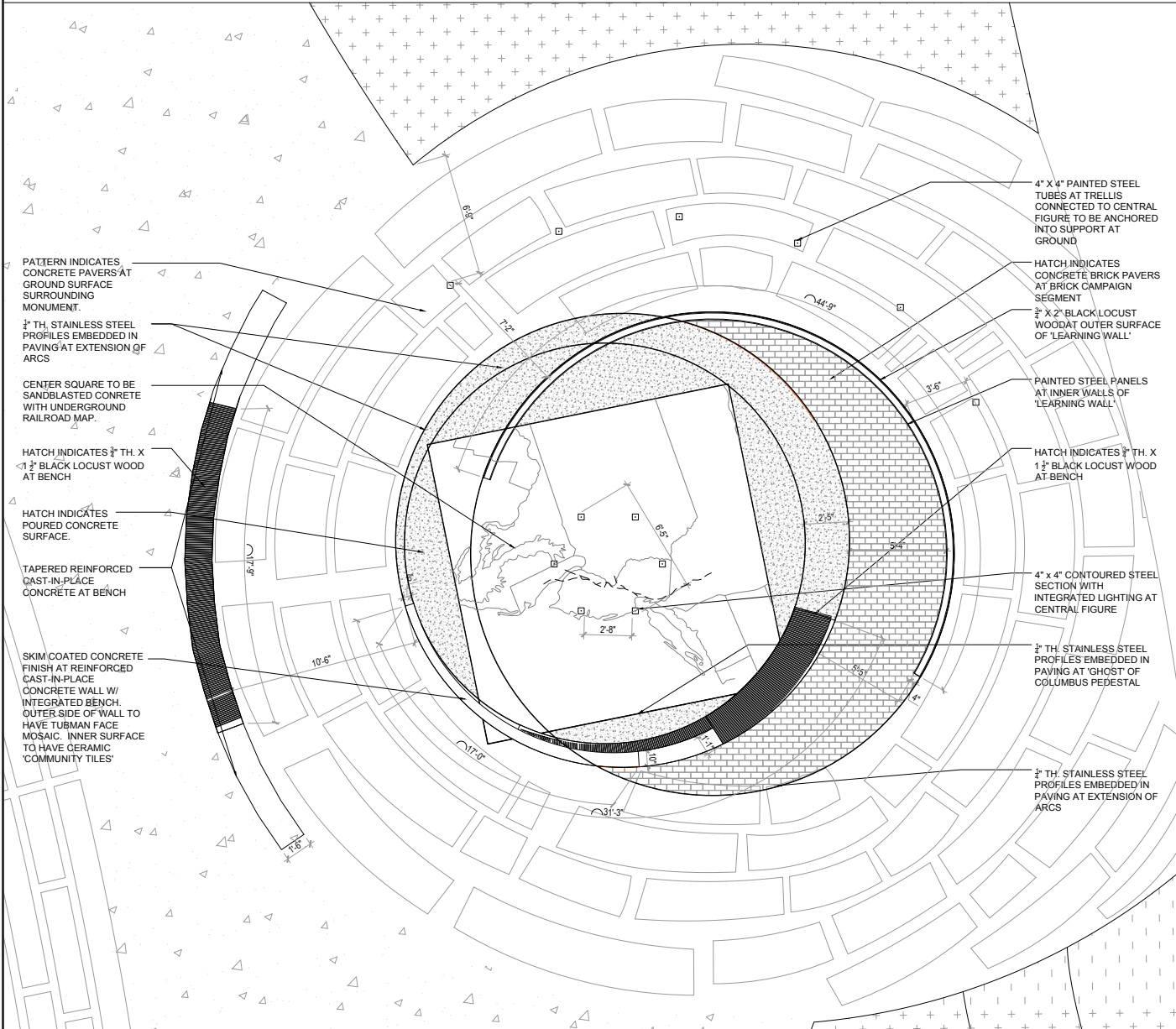
Attachment A.3 – Plate
19: View of the base of
the former monument to
Christopher Columbus
(removed in 2020).

Photo view: West

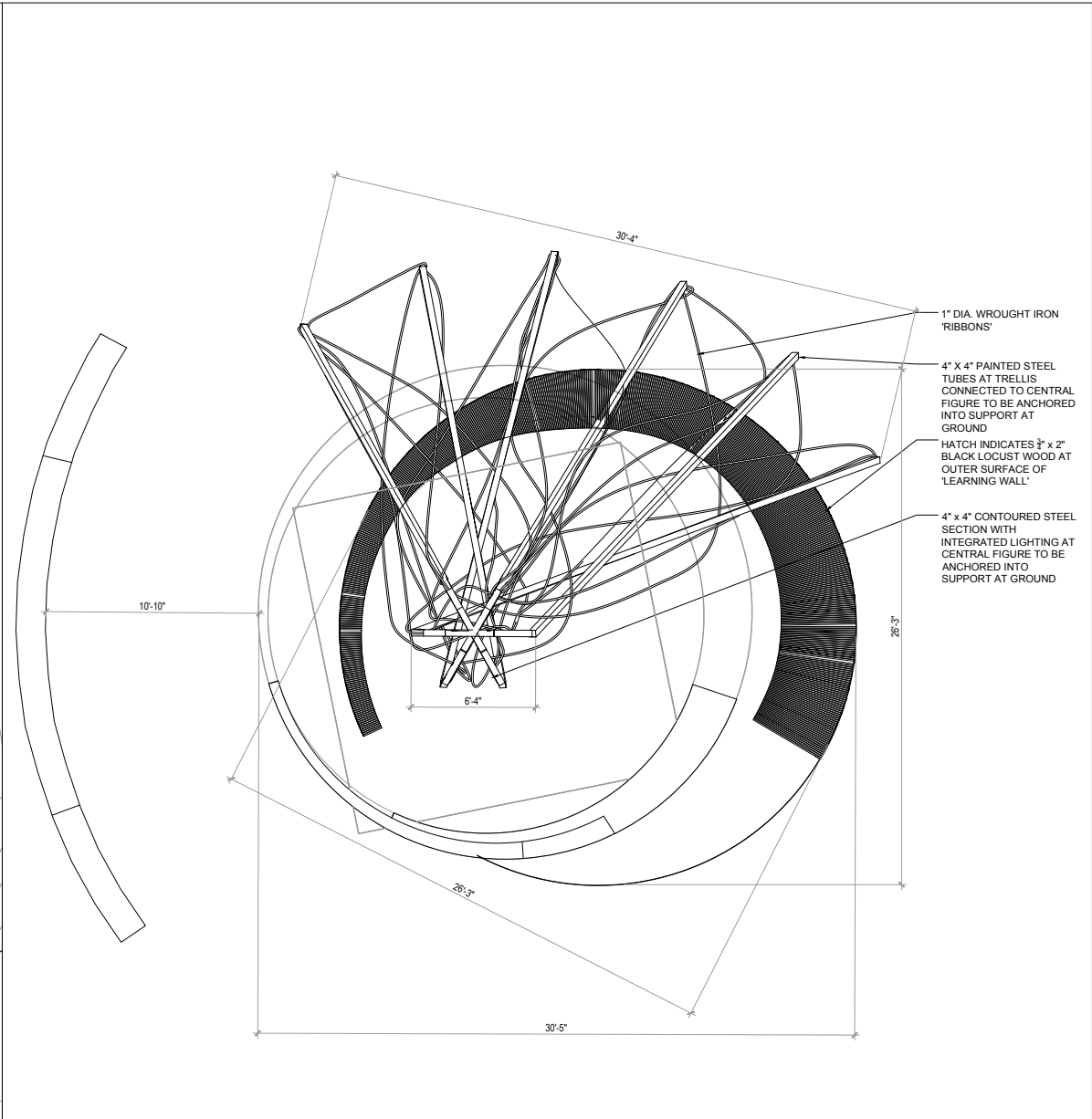
Photographer: Bloomberg
Associates

Date: June 24, 2021

ATTACHMENT A.4:
PROJECT PLANS



2 PLAN AT MONUMENT
SCALE: 1/4" = 1'-0"



1 AERIAL VIEW OF MONUMENT
SCALE: 1/4" = 1'-0"

NOTES:

- GC TO COORDINATE SITE PREPARATION WITH LANDSCAPE CONTRACTOR
- ALL STEEL FINISHES TO BE PAINTED WITH LONG LASTING, DURABLE FINISHES. PAINT FINISH TO BE TOUCH-UP READY.
- ALL WOOD TO BE ROT RESISTANT.
- ALL GROUND SURFACE FINISHES TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL IN-GROUND AND PERIMETER LIGHTING AIMED AT MONUMENT TO BE COORDINATED WITH LANDSCAPE CONTRACTOR.

STUDIO cooke johr
ARCHITECTURE + DESIGN

HARRIET TUBMAN
MONUMENT
Tubman Square
Newark NJ 07102

BLOCK 23 LOT 1

ARTIST
STUDIO COOKE JOHN
ARCHITECTURE + DESIGN
7 OAK PLACE, SUITE 200
MONTCLAIR, NJ 07042
917.524.8136
info@cookejohn.com

STRUCTURAL ENGINEER
KSI PROFESSIONAL ENGINEERS
7 PARK STREET, SUITE 208
MONTCLAIR, NJ 07042
973.577.7739

ISSUE	DATE	REV
SHPO REVIEW	02/22/2022	

COPYRIGHT 2022 BY
STUDIO COOKE JOHN ARCHITECTURE + DESIGN LLC
ALL RIGHTS RESERVED
THIS DRAWING OR PARTS THERE OF MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT PERMISSION
DOB STAMP AND SIGNATURE

SHEET TITLE
PLANS AT HARRIET
TUBMAN MONUMENT

SHEET NO
A-100.00
DATE 02/22/2022 DRAWN BY NCJ
PROJECT NO. 3107 CHECKED BY NCJ
SCALE AS NOTED SHEET NO. 1 OF 2
SEAL & SIGNATURE

ISSUE FOR SHPO REVIEW

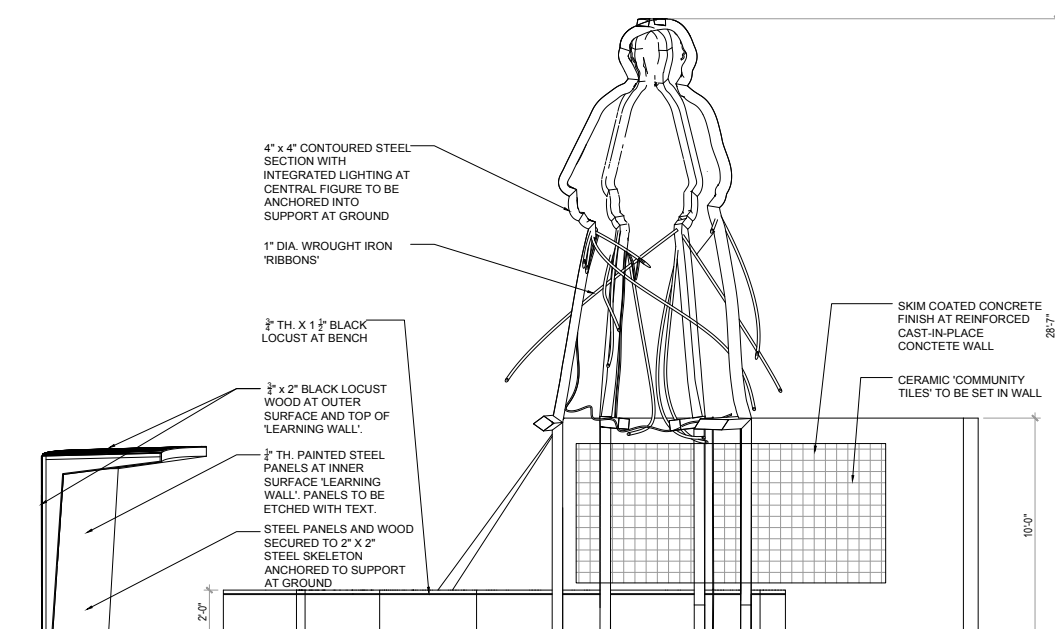
COPYRIGHT 2022 BY
STUDIO COOKE JOHN ARCHITECTURE + DESIGN LLC
ALL RIGHTS RESERVED
THIS DRAWING OR PARTS THERE OF MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT PERMISSION
DOB STAMP AND SIGNATURE

ELEVATIONS AT HARRIET TUBMAN MONUMENT

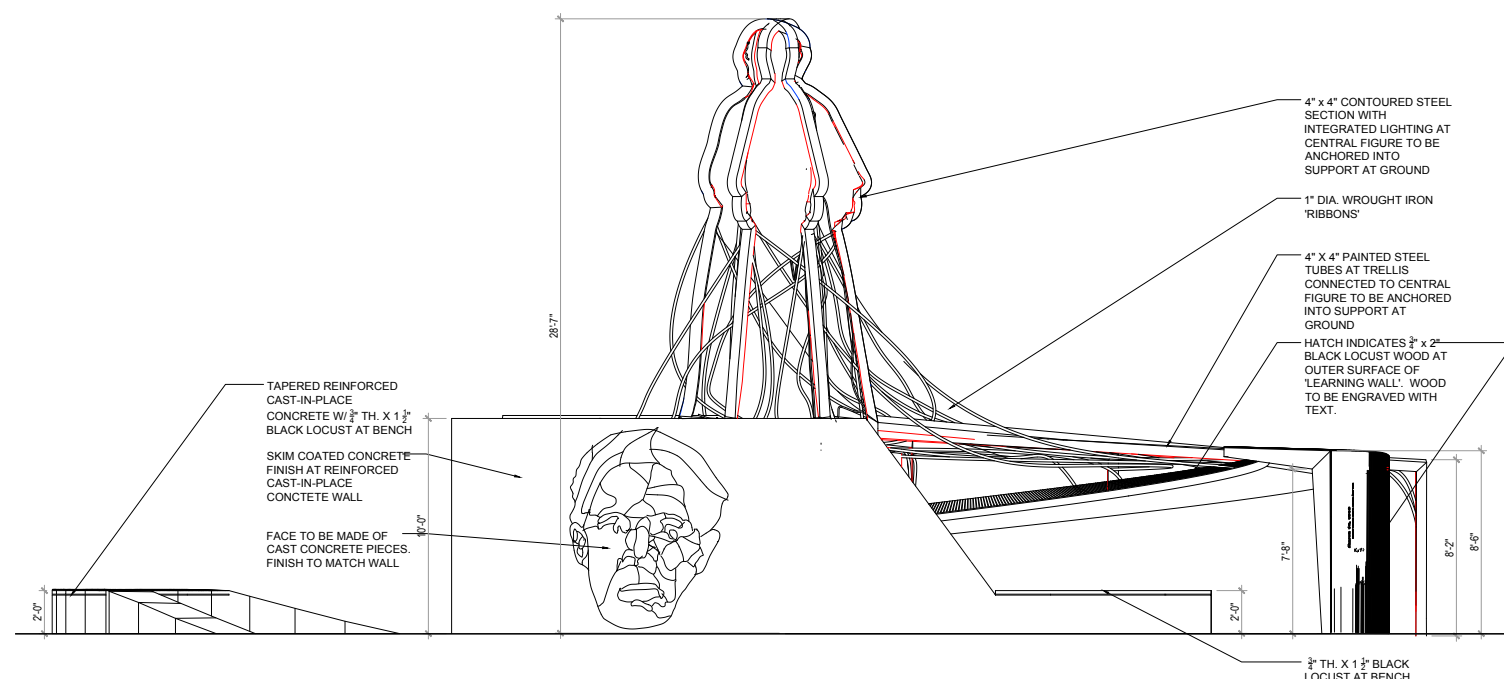
HEET NO
A-300.00

DATE	02/22/2022	DRAWN BY	NCJ
PROJECT NO.	3107	CHECKED BY	NCJ
SCALE	AS NOTED	SHEET NO.	5 OF 9
SEAL & SIGNATURE			

3 ELEVATION AT MONUMENT LOOKING EAST
SCALE: 1/4" = 1'-0"



2 SECTION AT MONUMENT LOOKING SOUTH
SCALE: 1/4" = 1'-0"



1 ELEVATION AT MONUMENT LOOKING NORTH
SCALE: 1/4" = 1'-0"

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

PLANT SCHEDULE

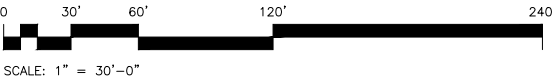
KEY		BOTANICAL NAME	COMMON NAME	SIZE / REMARKS
TREES				
AH	2	Aesculus x carnea	Red Horse Chestnut	3'-3.5" cal / B&B
CC	14	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	2.6" - 3" cal / B&B
CF	1	Cornus florida	Flowering Dogwood	3'-3.5" cal / B&B
GBA	7	Ginkgo biloba 'Autumn Gold'	Autumn Gold Ginkgo	3'-3.5" cal / B&B
PO	6	Prunus 'Okame'	Taiwan cherry	3'-3.5" cal / B&B
QB	5	Quercus bicolor	Swamp White Oak	3'-3.5" cal / B&B
QR	1	Quercus rubra	Northern Red Oak	3'-3.5" cal / B&B
UAJ	1	Ulmus americana 'Jefferson'	Jefferson American Elm	3'-3.5" cal / B&B
UAN	1	Ulmus americana 'New Harmony'	American Elm	3'-3.5" cal / B&B
UAV	2	Ulmus americana 'Valley Forge'	Valley Forge American elm	3'-3.5" cal / B&B

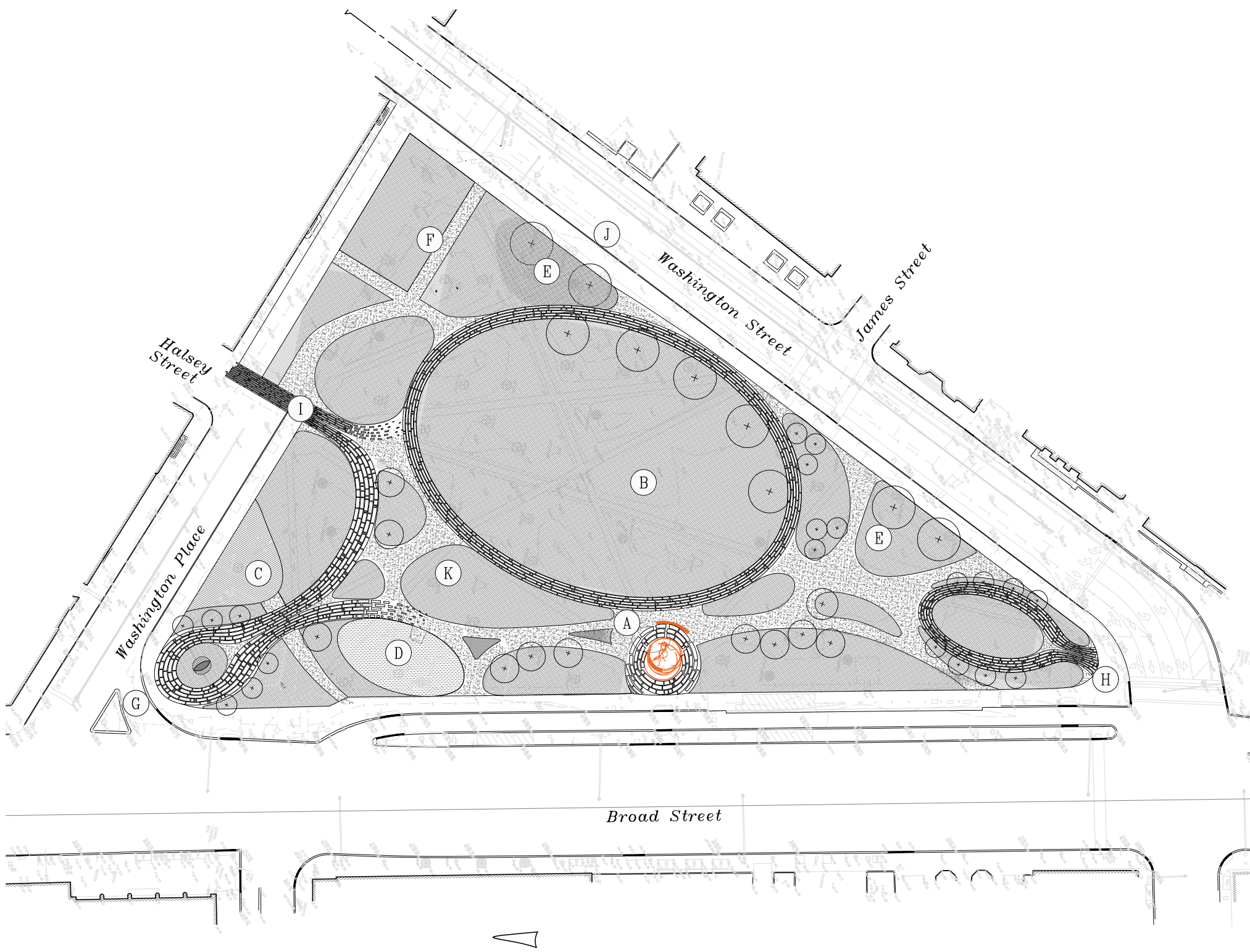
LEGEND:

- PROPOSED TREE
- PROPOSED LARGE PLANK PAVERS - COLOR A
- PROPOSED SMALL PLANK PAVER - COLOR B
- PROPOSED LANDSCAPE
- EXISTING GEORGE WASHINGTON MONUMENT
- PROPOSED HARRIET TUBMAN SCULPTURE
- GREAT LAWN
- PLAYGROUND (PHASE 2)
- DOG PARK (PHASE 2)
- SEATINGS WITH TABLES (PHASE 2)
- MONUMENT GARDEN (PHASE 2)
- WASHINGTON MONUMENT ENTRY PLAZA
- NORTH ENTRY PLAZA
- SOUTH ENTRY PLAZA
- FOOD TRUCK PARKING (PHASE 2)
- RESTROOMS / STORAGE (PHASE 2)



1 SITE LAYOUT PLAN





- LEGEND:
- PROPOSED TREE
 - PROPOSED LARGE PLANK PAVERS - COLOR A
 - PROPOSED SMALL PLANK PAVER - COLOR B
 - PROPOSED LANDSCAPE
 - EXISTING GEORGE WASHINGTON MONUMENT
 - PROPOSED HARRIET TUBMAN SCULPTURE
 - GREAT LAWN
 - PLAYGROUND (PHASE 2)
 - DOG PARK (PHASE 2)
 - SEATINGS WITH TABLES (PHASE 2)
 - MONUMENT GARDEN (PHASE 2)
 - WASHINGTON MONUMENT ENTRY PLAZA
 - NORTH ENTRY PLAZA
 - SOUTH ENTRY PLAZA
 - FOOD TRUCK PARKING (PHASE 2)
 - RESTROOMS / STORAGE (PHASE 2)

edgewater

DESIGN, LLC

landscape architecture & site planning

101 S. Harrison Street
East Orange, NJ 07018

973-921-9211 phone
973-921-9210 fax

CONSULTANTS:

SEAL:

KEYMAP:



CLIENT:

PROJECT:

HARRIET TUBMAN
SQUARE

NEWARK, NJ

SHEET TITLE:

SITE LAYOUT PLAN
PHASE 2

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

DATE: 02.23.2022

SCALE: AS SHOWN

DRAWN: M.J.

CHECK: J.S.R.

SHEET 2 OF 2

DRAWING No.:

L-101

1 SITE LAYOUT PLAN



HARRIET TUBMAN MONUMENT

AT TUBMAN SQUARE NEWARK, NEW JERSEY

edgewater
DESIGN, LLC

landscape architecture & site planning
101 S Harrison Street
East Orange, NJ 07018
973-921-9211 phone

CONSULTANTS:

CIVIL ENGINEER

DYNAMIC ENGINEERING CONSULTANTS, PC
50 Park Place Mezzanine Level,
Newark, NJ 07102
PHONE: (973) 755-7200

GENERAL NOTES:

- THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY A COMPETENT, EXPERIENCED CONTRACTOR WHO HAS THOROUGHLY REVIEWED THE CONTRACT DOCUMENTS. THIS DESIGN PROFESSIONAL WILL NOT BE RESPONSIBLE FOR JOB SITE PROBLEMS DUE TO FAILURE TO INTERPRET THE DOCUMENTS CORRECTLY. REPRESENTATIVES OF THE ARCHITECT AND THEIR CONSULTING ENGINEERS ARE AVAILABLE TO ANSWER QUESTIONS AND ASSIST THE CONTRACTOR BY EXPLAINING THE DESIGN INTENT. FAILURE BY THE CONTRACTOR TO UNDERSTAND THE COMPLEXITIES OF THE PROJECT AND THE SEQUENCE OF CONSTRUCTION CAN RESULT IN SERIOUS INJURY TO WORKERS. PROCEEDING WITH CONSTRUCTION WITHOUT A FULL UNDERSTANDING OF THE PROJECT AND A COMPLETE SET OF DESGN DOCUMENTS WILL PUT BOTH THE PROJECT AND INDIVIDUALS AT RISK. THE CONTRACTOR ASSUMES TOTAL RESPONSIBILITY FOR ANY CONSEQUENCES OF THAT ACTION.
- THE OFFICE OF THE CITY ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OF ANY IMPROVEMENTS UNDER ITS JURISDICTION.
- AS INDICATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND MAINTENANCE AND PROTECTION OF TRAFFIC PLANS, SUFFICIENT CONSTRUCTION WARNING SIGNS ARE TO BE PROVIDED AND MAINTAINED BY CONTRACTOR AT ALL TIMES PERFORMING CONSTRUCTION WORK. SAID SIGNS ARE TO BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND APPROVED BY THE CITY ENGINEER.
- ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK. COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE JOB SITE. EDGEWATER DESIGN LLC, DYNAMIC ENGINEERING AND ITS AGENTS ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS AND SUBCONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.
- HAZARDOUS MATERIALS MAY EXIST AT THIS SITE. CONTRACTOR SHALL CONSULT WITH OWNER'S AUTHORIZED REPRESENTATIVES REGARDING POSSIBLE LOCATIONS OF HAZARDOUS MATERIALS. IF CONTRACTOR ENCOUNTERS HAZARDOUS MATERIALS DURING CONSTRUCTION, HE SHALL STOP WORK IMMEDIATELY AND NOTIFY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS FOR THE SAFE REMOVAL OF ALL HAZARDOUS MATERIALS BEFORE THE CONTRACTOR CAN RESUME WORK.
- ACCEPTANCE OF DEVIATIONS FROM ANY OF THE REQUIREMENTS OF THESE NOTES SHALL BE AT THE SOLE DISCRETION OF THE LANDSCAPE ARCHITECT. ACCEPTANCE OF A DEVIATION FROM ANY REQUIREMENT SHALL NOT BE CONSTRUED AS PERMITTING ANY OTHER DEVIATION.
- THE CONTRACTOR SHALL PROVIDE SUCH TEMPORARY DRAINAGE, SOIL EROSION, AND DUST CONTROL MEASURES AS MAY BE DIRECTED BY THE CITY ENGINEER OR OTHER AGENCIES IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLANS AND STATE OF NEW JERSEY GUIDELINES.
- UNLESS DESIGNATED AS "ISSUED FOR CONSTRUCTION", THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE PROPER ISSUE OF PLANS CAN BE SUPPLIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING WARNING SIGNS, BARRICADES, AND ANY AND ALL SAFETY MEASURES AS MAY BE REQUIRED BY LOCAL CODE, OSHA AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SUBSTITUTIONS OF PRODUCT SPECIFICATIONS THAT NOTE "OR EQUAL" MUST BE APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE DESIGN ENGINEER THAT THE SUBSTITUTION IS EQUAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, LAWS AND ORDINANCES OF THE CITY OF NEWARK AND THE STATE OF NEW JERSEY AND ALL AUTHORITIES HAVING JURISDICTION. ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLY WITH THE REQUIREMENTS SHALL BE PROVIDED WITHOUT ADDITIONAL COSTS TO THE OWNER.
- ALL PERMITS FOR CONSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF ALL WORK.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER, GOVERNMENTAL AGENCIES, AND ALL OTHER APPROPRIATE AUTHORITIES 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS TO FIELD VERIFY EXISTING SITE CONDITIONS AND DISCUSS ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE ENGINEER PRIOR TO START OF ALL WORK.
- THE CONTRACTOR SHALL COORDINATE FINAL LOCATIONS AND GRADES OF DRAINS AND INLETS WITH GRADING, PAVING, AND LANDSCAPING DRAWINGS.
- WITHIN TEN (10) DAYS OF NOTICE TO PROCEED, THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE ON CONSTRUCTION SEQUENCING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND TESTING REQUIRED.
- THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
- THE CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES. SITE SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
- ADDITIONAL NOTES THAT ARE APPLICABLE TO THIS CONTRACT MAY BE FOUND THROUGHOUT THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL PATCH AND REPAIR ALL PAVEMENTS, WALLS, ETC., DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.
- THE CONTRACTOR IS TO EXERCISE CARE IN ALL OPERATIONS TO PROTECT EXISTING UTILITIES AND SITE FEATURES TO AVOID DISTURBING OR DAMAGING ANY THAT ARE TO REMAIN. ANY DAMAGE RESULTING FROM THIS WORK MUST BE RESTORED AT THE CONTRACTORS OWN EXPENSE TO THE SATISFACTION OF THE ENGINEER AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL EXERCISE CARE DURING EXCAVATION OPERATIONS NOT TO DAMAGE THE EXISTING BUILDINGS, TREES, FENCES, LIGHTS, SIGNS, AND PAVEMENTS TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE CONSTRUCTION AREA AND PROVIDING FOR PEDESTRIAN AND VEHICULAR TRAFFIC FLOW AROUND THE CONSTRUCTION SITE.
- THE CONTRACTOR IS TO PROVIDE A SECURE PROJECT SITE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE AND PROVIDE NECESSARY SIDEWALK CLOSURES AND PEDESTRIAN DETOURS AS REQUIRED.
- NO STOCKPILE OF MATERIAL TO OCCUR ON SITE.
- EXISTING STREET SIGNS, PARKING METERS, AND OTHER FEATURES WILL REMAIN AT THERE EXISTING LOCATIONS AND SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION.
- THE SCOPE OF WORK DETAILED BY THESE DOCUMENTS REQUIRES ONE OR MORE BUILDING PERMITS FROM THE LOCAL MUNICIPALITY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL BUILDING PERMITS APPLICABLE FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION OVER THE PROJECT. NO CONSTRUCTION SHALL PROCEED PRIOR TO ANY ISSUANCE OF THE NECESSARY PERMITS. CONTRACTOR SHALL CONTACT "DIG SAFE NY" (811) FOR AN UNDERGROUND UTILITY MARK-OUT PRIOR TO ANY EXCAVATION.

PLANTING NOTES

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED, AND WHERE NECESSARY RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- ALL NEWLY PLANTED PLANTERS SHALL RECEIVE 3 INCHES MINIMUM OF FRESH SHREDDED HARDWOOD MULCH, DARK IN COLOR, AS SPECIFIED.
- PLANTING SOIL MIX FOR PLANTING SHALL BE FREE FROM DEBRIS, ROOTS OR ARTIFICIAL MATERIALS. SEE SPECIFICATIONS FOR PLANTING SOIL MIX.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR TWO YEARS FROM TIME OF CITY OF NEWARK AND LANDSCAPE ARCHITECTS FINAL WRITTEN APPROVAL.
- CONTRACTOR IS RESPONSIBLE FOR WATERING UNTIL WARRANTY IS COMPLETE.
- PROVIDE NURSERY GROWN PLANTS FROM A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES. PROVIDE ONLY HEALTHY, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT, AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUNSCALE, INJURIES, ABRASIONS OR DISFIGUREMENT.
- ALL PLANTS SHALL BE PACKED, TRANSPORTED, AND HANDLED WITH UTMOST CARE TO INSURE ADEQUATE PROTECTION AGAINST INJURY.
- PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM INSECTS, PLANT DISEASES AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED MEASUREMENTS SPECIFIED IN THE PLANT LIST WHICH ARE MINIMUM ACCEPTABLE. NO PLANTS SHALL BE PRUNED OR CLIPPED PRIOR TO DELIVERY EXCEPT WITH THE PERMISSION OF THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE MULCHED IMMEDIATELY AFTER PLANTING. ALL TREES SHALL BE GIVEN ONE APPLICATION OF ANTIDISECCANT, AS PER MANUFACTURERS DIRECTION, COVERING ALL LEAVES, BRANCHES, AND TRUNKS.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE OF THE PROJECT. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED AND GENERALLY MAINTAINED TO KEEP THEM IN A HEALTHY, VIGOROUS CONDITION.
- SEE SHEET L-2.3 FOR PLANTING DETAILS. IF ANY DISCREPANCIES SHOULD OCCUR BETWEEN THE PLANT QUANTITIES CALLED FOR ON THE PLANT SCHEDULE AND THOSE INDICATED ON THE PLANS, THE PLAN TOTAL SHALL GOVERN.
- THE CONTRACTOR SHALL STAKE AND LABEL THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO THE DELIVERY OF PLANTS. THE CONTRACTOR SHALL NOTIFY THE AUTHORITY WHEN STAKING IS COMPLETE AND SCHEDULE A MEETING AT THE SITE AT WHICH TIME TO FINAL LOCATIONS WILL BE ADJUSTED AND APPROVED.
- THE LANDSCAPE ARCHITECT WILL INSPECT ALL PLANT MATERIAL PRIOR TO PLANTING. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL PRIOR TO PLANTING.
- NO PLANT MATERIAL WILL BE ACCEPTED WHICH DISPLAYS MAJOR IRREGULARITIES OR MECHANICAL DAMAGE.
- ALL CHANGES TO THE PROPOSED PLANTING PLAN REQUIRE APPROVAL BY THE LANDSCAPE ARCHITECT. ALL APPROVALS SHALL BE IN WRITING.
- ALL TREES SHALL BE FRESHLY DUG AND DELIVERED TO THE SITE AS REQUIRED FOR IMMEDIATE PLANTING. NO PLANT SHALL REMAIN UNPLANTED FOR MORE THAN 6 HOURS.
- ALL TREES SHALL HAVE IRRIGATION BAGS TO BE FILLED WEEKLY WITH POTABLE WATER DURING GROWING SEASONS FOR FULL (2) YEAR GUARANTEE PERIOD, OR MAY BE DIRECTED BY LANDSCAPE ARCHITECT.
- DUE TO MANY PLANTS REQUIRING SPRING PLANTING AS SHOWN ON THE PLANT SCHEDULE, THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE PLANTS ARE AVAILABLE FOR INSTALLATION DURING THE CORRECT PLANTING SEASON.
- CONTRACTOR SHALL PLANT IN CORRECT PLANTING SEASON AS PLANTING AREAS BECOME AVAILABLE PER CONSTRUCTION SCHEDULE.










UTILITY NOTES

- ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATION OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE UTILITY LOCATIONS AND OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES WHICH MAY AFFECT PROJECT DESIGN AND/OR SCOPE.
- EXISTING SURFACES DISTURBED BY THE CONSTRUCTION OF FACILITIES FOR THIS PROJECT SHALL BE RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL EXISTING UTILITIES FROM DAMAGE. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY AUTHORITIES FOR THE EXACT LOCATION OF ALL EXISTING UTILITIES A MINIMUM OF 72 HOURS PRIOR TO THE START OF ALL WORK.
- THE CONTRACTOR WILL BE HELD FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DUE TO HIS CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE IMMEDIATELY REPAIRED IN ACCORDANCE WITH DIRECTIONS FROM THE OWNING AUTHORITY TO THE SATISFACTION OF THE ENGINEER AND AT THE CONTRACTOR'S EXPENSE.
- ALL GAS VALVES, MARKERS, VENTS, AND BOXES WITHIN THE CONSTRUCTION LIMITS SHALL BE RESET BY THE RESPECTIVE UTILITY COMPANIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY EACH UTILITY COMPANY AND SCHEDULE THE WORK ACCORDINGLY.












SCOPE OF WORK

- THE WORK SHALL BE AS SHOWN AND CALLED FOR IN THE CONTRACT DOCUMENTS AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING GENERAL ITEMS OF WORK:
- GENERAL PROTECTION OF WORK FOR SUBGRADE OPERATIONS ON THE SITE.
 - EXCAVATION FOR SEAT WALLS AND PAVING.
 - DISPOSAL OF CONCRETE PAVEMENT, CURBING AND LAWN AREAS.
 - INSTALLATION OF PAVEMENTS.
 - INSTALLATION OF SEAT WALLS.
 - LANDSCAPE SOIL, PLANTING AND SEEDING OPERATIONS.

EXISTING LEGEND

-  LIGHT POLE
-  DECIDUOUS TREE
-  SPOT ELEVATION
-  SIGN
-  DECORATIVE FENCE
-  ELECTRICAL LINE
-  CONTOUR
-  LIMIT OF DISTURBANCE
-  PROPERTY LINE

SYMBOLS LEGEND

-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  EXISTING SPOT ELEVATION
-  PROPOSED SPOT ELEVATION
-  MEET EXISTING GRADE
-  SLOPE DIRECTION (HORIZONTAL-VERTICAL)
-  PLANTED AREA
-  EXISTING TREE
-  PROPOSED TREE OR LARGE SHRUB
-  PROPOSED SHRUB
-  PLANTED AREA

LIST OF DRAWINGS

- | | |
|--------|----------------------------------|
| C-101 | COVER SHEET |
| X-101 | EXISTING CONDITIONS PLAN |
| SP-101 | SITE PREPARATION + REMOVALS PLAN |
| SP-102 | SITE PREPARATION DETAILS |
| L-101 | MATERIALS PLAN |
| L-201 | GRADING PLAN |
| L-301 | PLANTING PLAN |
| L-401 | SITE DETAILS |

AREA MAP



NOTES ON USE OF PLANS

- UNLESS THESE DRAWINGS ARE SPECIFICALLY DESIGNATED AS "ISSUED FOR CONSTRUCTION," THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR THE IMPROVEMENTS DEPICTED HEREIN. CONTRACTORS SHALL NOTIFY THE DESIGN ENGINEER TO OBTAIN CONSTRUCTION DOCUMENTS.
- ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS, ERRORS, AMBIGUITIES OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- ALL DIMENSIONS SHALL BE AS NOTED IN WORDS OR NUMBERS ON THE CONTRACT DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS.
- THESE CONTRACT DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT. THEY ARE NOT INTENDED FOR USE ON EXTENSIONS OF THIS PROJECT OR FOR REUSE ON ANY OTHER PROJECT.
- THE COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY OTHER PORTION THEREOF WITHOUT THE WRITTEN PERMISSION OF EDGEWATER DESIGN LLC IS PROHIBITED.
- INFORMATION FOR DESIGN LAYOUT IS CONTAINED SOLELY IN THE WRITTEN DIMENSIONS, BEARINGS, AND ANGLES CONTAINED ON THE DRAWINGS.
- THIS DIMENSIONAL INFORMATION IS NOT WARRANTED NOR SHOULD IT BE CONSIDERED AS COMPLETE FOR EVERY ASPECT OF THE LAYOUT. STANDARD PRACTICE REQUIRES THAT THE LAYOUT PERSON CHECK THE DIMENSIONAL DATA CONSISTENCY AND TO MAKE SURVEY CALCULATIONS WHICH ARE CUSTOMARY FOR CONSTRUCTION LAYOUT. IN THE EVENT A QUESTION OR INCONSISTENCY IS DISCOVERED, THE USER SHOULD IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.
- THE GRAPHICAL INFORMATION CONTAINED IN ELECTRONIC FILES IS INTENDED AS DRAWING DATA ONLY, IT IS NOT INTENDED TO SERVE AS SURVEY LAYOUT DATA.

C-101

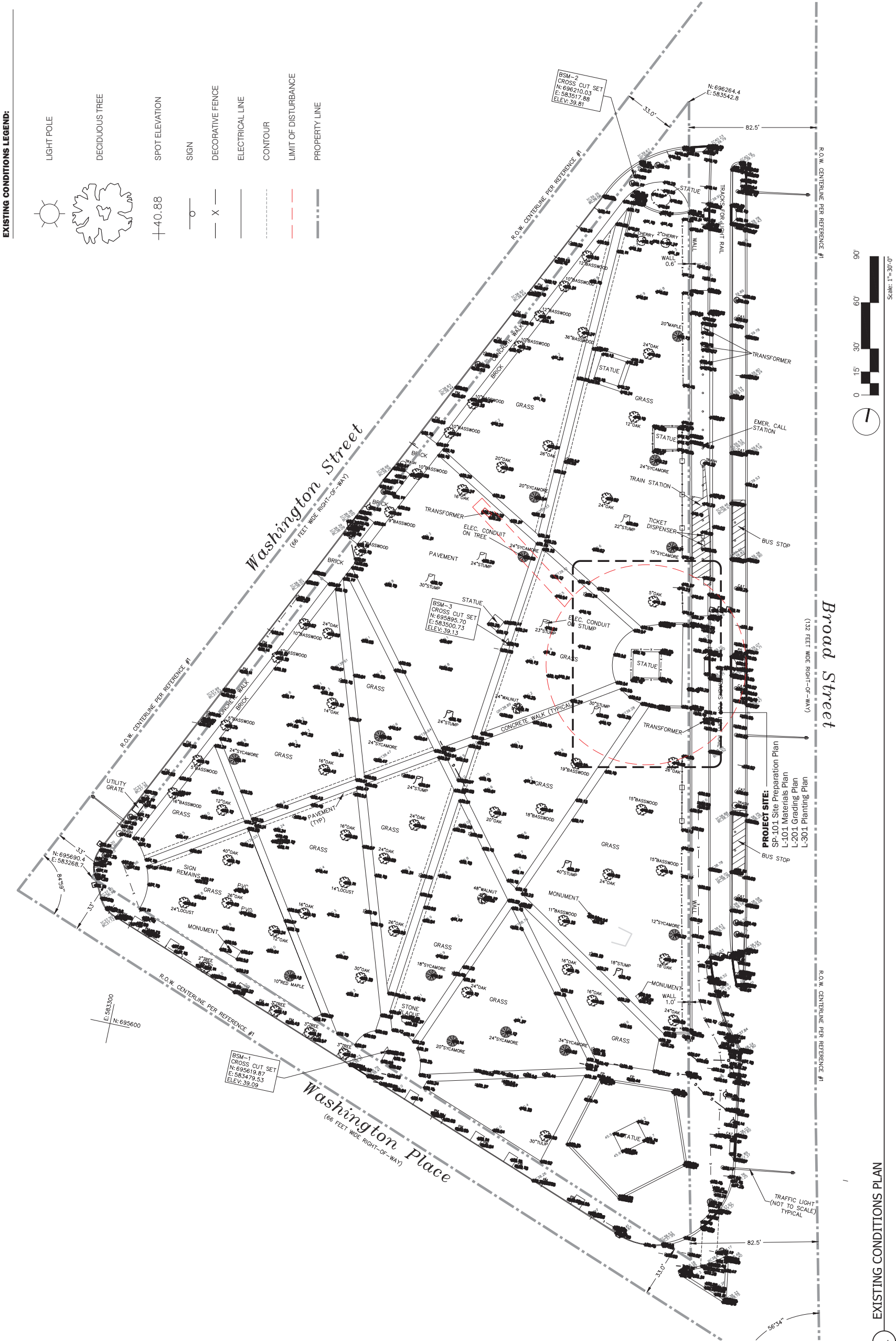
DWG. 1 OF 8

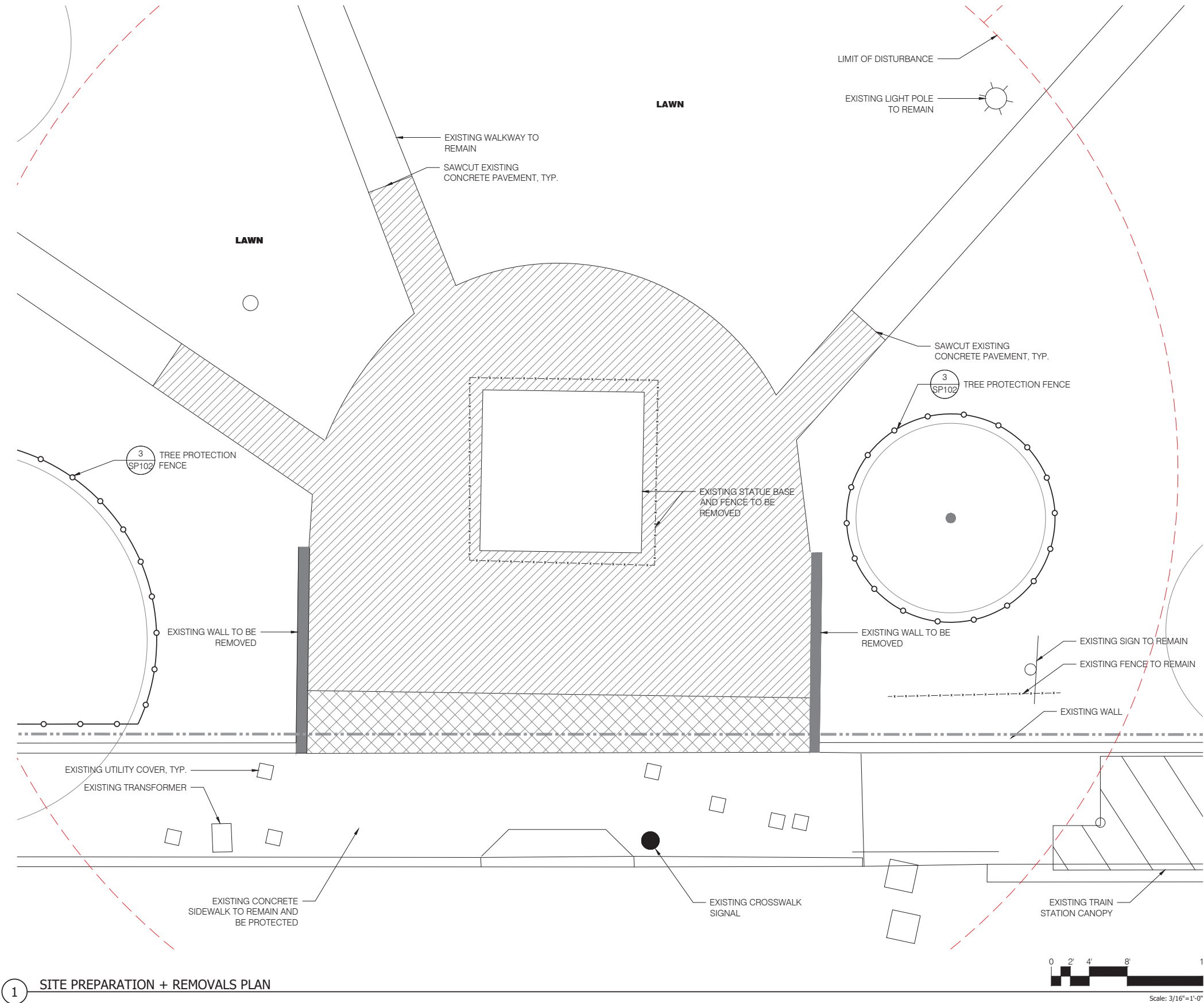
Jan Saltiel Rafel
Licensed Landscape Architect
New Jersey License No. 21AS00050700

APRIL 18, 2022



REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION





LEGEND:

EXISTING CONCRETE PAVEMENT AND SUBBASE TO BE REMOVED

EXISTING BRICK PAVEMENT AND SUBBASE TO BE REMOVED

EXISTING TREE

3 TREE PROTECTION FENCING
SP102

PROPERTY LINE

- SITE REMOVALS**
- The Contractor shall, during the bidding process, be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on drawings or not) to construct the proposed site improvements. The Contractor shall report, in writing, any discrepancies between the existing and proposed work to the Landscape Architect and Owner prior to proceeding with construction. Failure to inspect, notice, or report these discrepancies prior to construction shall not relieve the Contractor from his responsibility to perform the necessary operation for the successful completion of the proposed improvements.
 - Contractor shall provide protections necessary to prevent damage to existing improvements indicated to remain in place and newly constructed improvements on Owner's property. The Contractor shall restore damaged improvements to their original condition, as acceptable to the Landscape Architect and parties having jurisdiction, at no cost to the Owner and parties having jurisdiction.
 - Existing materials designated for salvage by Landscape Architect or Contractor shall be stockpiled or stored in locations approved by the Owner. The Contractor shall protect all materials designated to remain and shall be solely responsible for replacement of any materials so designated that are damaged during construction. The extent of replacement and/or repair to damaged items or work shall be determined by the Landscape Architect and shall be to Owner's satisfaction.
 - The Contractor shall clear and remove all organic matter, debris, and rubbish from the job site not designated for salvage or relocation. The removal of such items shall be done in a manner so as not to damage items and vegetation to remain. The Contractor shall dispose of said materials in a legal manner.
 - No paint shall be applied to site elements to remain. The Contractor shall review the method of marking site elements to remain with the Landscape Architect prior to beginning construction.
 - Construction fence to follow limit of work (L.O.W.) line unless otherwise reviewed and agreed upon by Owner and Landscape Architect prior to commencement of landscape construction. Limits of the work area shall be identified and staked prior to the start of landscape construction. Work outside the limit of work line is not to be performed without written approval from the Owner.
 - See site Civil and Electrical Plans for utility removals.

- GENERAL TREE PROTECTION NOTES**
- The Contractor shall verify all trees to be removed and/or relocated and their respective locations with the Landscape Architect and Owner prior to construction.
 - Contractor shall stake out all tree protection fencing for review by Landscape Architect and Owner.
 - All fences to protect vegetation are to be installed before construction and shall be maintained during construction.
 - No paint shall be applied to vegetation to remain. The Contractor shall review the method of marking vegetation to remain with the Landscape Architect prior to beginning construction.
 - Impacts on vegetation to remain during construction are to be kept to a minimum. Tree protection fences shall be erected at the edge of the tree canopies prior to the start of construction. The fences shall remain in place for the duration of construction.
 - Landscape Architect will review limits of tree protection fence with Contractor prior to beginning construction. The Contractor shall review with Owner and Landscape Architect the areas of construction operations, including proposed vehicular construction operations, stockpiling of materials, and areas of construction operations of associated contracts on the site prior to commencement of construction.
 - Contractor to verify all quantities of site preparation materials required.

1 SITE PREPARATION + REMOVALS PLAN

NOT FOR
CONSTRUCTION

SEAL:



CLIENT:

PROJECT:

**Harriet Tubman
Monument**

**Tubman Square
Newark, NJ**

SHEET TITLE:

**Site Preparation +
Removals Plan**

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

DATE: APRIL 18th, 2022

SCALE: AS NOTED

DRAWN: EDGEWATER

CHECK: EDGEWATER

SHEET 3 OF 8

DRAWING No.:

SP-101

NOT FOR
CONSTRUCTION

SEAL:

KEYMAP:



CLIENT:

PROJECT:

Harriet Tubman
Monument

Tubman Square
Newark, NJ

SHEET TITLE:

Materials Plan

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

DATE: APRIL 18th, 2022
SCALE: AS NOTED
DRAWN: EDGEWATER
CHECK: EDGEWATER

SHEET 5 OF 8

DRAWING No.:

L-101

LEGEND:



1
L-401
CIP CONCRETE
PAVEMENT (C1)



2
L-401
EXPOSED AGGREGATE
CONCRETE PAVEMENT (C2)



5
L-401
PERMEABLE UNIT PAVERS

PL

PLANTED AREA



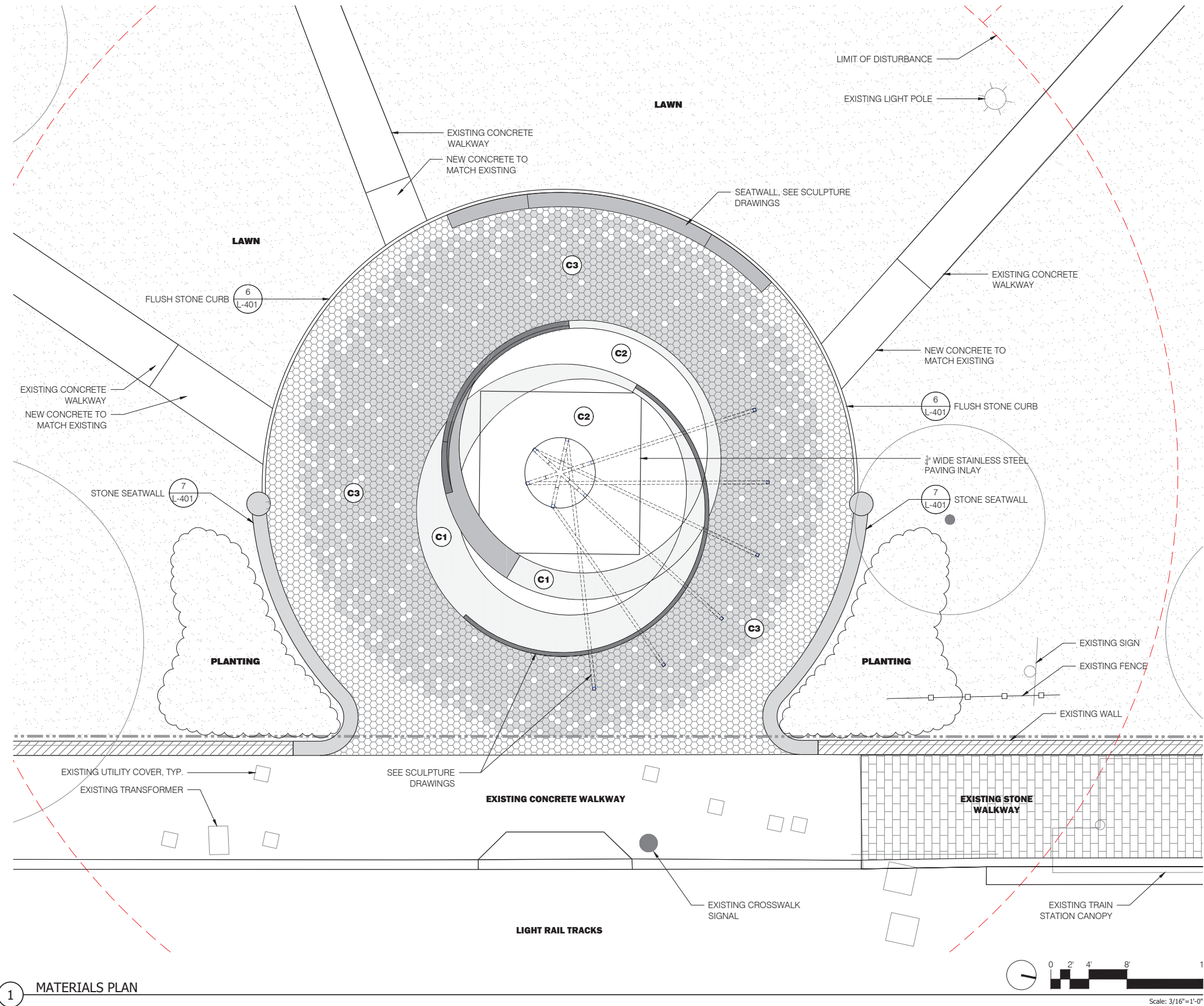
EXISTING TREE



PROPERTY LINE

NOTES:

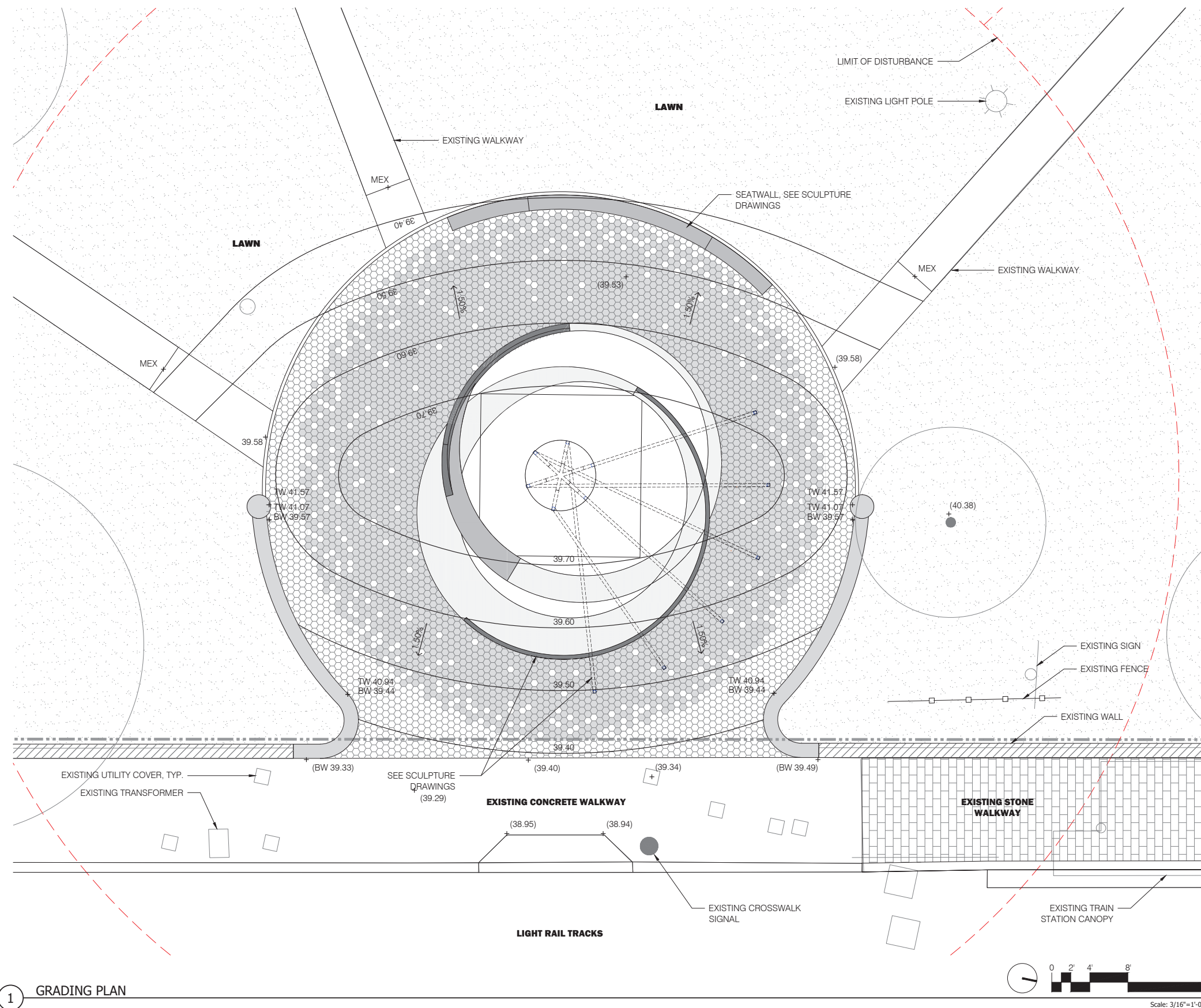
- The Contractor shall layout and determine the elevations of all site elements and proposed utilities for approval by the Landscape Architect prior to the start of construction. The Contractor shall report any discrepancies in writing to the Landscape Architect.. The Contractor shall provide elevations simultaneously with layout.
- The Contractor shall field verify grades and notify the Construction Manager of any discrepancies for resolution prior to starting construction operations. The Contractor shall not proceed under uncertainty and shall assume full responsibility of all costs for revisions due to failure to give such notifications.
- The Contractor shall be responsible for positive surface drainage in all areas, unless otherwise noted. All newly graded ground surfaces shall be finished to uniform grades and sloped in such a manner as to drain properly and be free of depressions that cause areas of standing water. Where proposed grades meet existing, blend grades to provide a smooth transition between the new work and the existing work. Ponding at joints will not be accepted.
- All grading shall be completed in a way to maintain positive drainage away from all structures. The Contractor shall report any conflicts with this requirement to the Construction Manager for resolution prior to final grading operations.
- When rough grading of subgrade is complete, the Contractor must give Construction Manager and Landscape Architect notice for on-site review prior to and placement of planting soils and finish grading.
- During the review of rough grading and finish grade grading stakes, the Landscape Architect may make minor adjustments to rough grading without incurring additional cost to the project.
- The Contractor shall adjust all utility elements or covers (including but not limited to: clean outs, manholes, catch basins, inlets, gate valves) to be flush with the final finish grade whether shown on the Drawings or not.



1 MATERIALS PLAN

Scale: 3/16"=1'-0"

1. The Contractor shall layout and determine the elevations of all site elements and proposed utilities for approval by the Landscape Architect prior to the start of construction.
2. The Contractor shall report any discrepancies in writing to the Construction Manager.
3. The Contractor shall provide elevations simultaneously with layout.
4. The Contractor shall ensure that all erosion control measures are in place and functioning prior to the placement of fill material. Erosion control measures shall conform to City requirements.
5. The Contractor shall field verify grades and notify the Construction Manager of any discrepancies for resolution prior to starting construction operations.
6. The Contractor shall not proceed under uncertainty and shall assume full responsibility of all costs for revisions due to failure to give such notifications.
7. The Contractor shall be responsible for positive surface drainage in all areas, unless otherwise noted.
8. All newly graded ground surfaces shall be finished to uniform grades and sloped in such a manner as to drain properly and be free of depressions that cause areas of standing water. Where proposed grades meet existing, blend grades to provide a smooth transition between the new work and the existing work. Ponding at joints will not be accepted.
9. All grading shall be completed in a way to maintain positive drainage away from all structures. The Contractor shall report any conflicts with this requirement to the Construction Manager for resolution prior to final grading operations.
10. Grading within the drip lines of existing trees to remain and new trees shall be done by hand to avoid damage to tree roots. Refer to Specifications.
11. Refer to Specifications for compaction requirements under pavements and planted areas.
12. When rough grading of subgrade is complete, the Contractor must give Construction Manager and Landscape Architect notice for on-site review prior to and placement of planting soils and finish grading.
13. Fine grading: set sufficient grade stakes for review by Landscape Architects of finished grades. Stakes must be set at the bottom and top of slopes and as needed to review the proposed elevation.
14. Grades shall be established which are accurate to 1/10 of a foot either way. Connect contours and spot elevations until an even slope is achieved. Refer to specifications.
15. During the review of rough grading and finish grade grading stakes, the Landscape Architect may make minor adjustments to rough grading without incurring additional cost to the project.
16. The Contractor shall adjust all utility elements or covers (including but not limited to: clean outs, manholes, catch basins, inlets, gate to be flush with the final finish grade whether shown on the Drawings or not.
17. Refer to Civil drawings for all drain inlets, manholes, oil/water separators, underdrains, and top of roadway curbs.



NOT FOR
CONSTRUCTION

SEAL:

KEYMAP:



CLIENT:

PROJECT:

Harriet Tubman
Monument

Tubman Square
Newark, NJ

SHEET TITLE:

Planting Plan

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

DATE: APRIL 18th, 2022

SCALE: AS NOTED

DRAWN: EDGEWATER

CHECK: EDGEWATER

SHEET 7 OF 8

DRAWING No.:

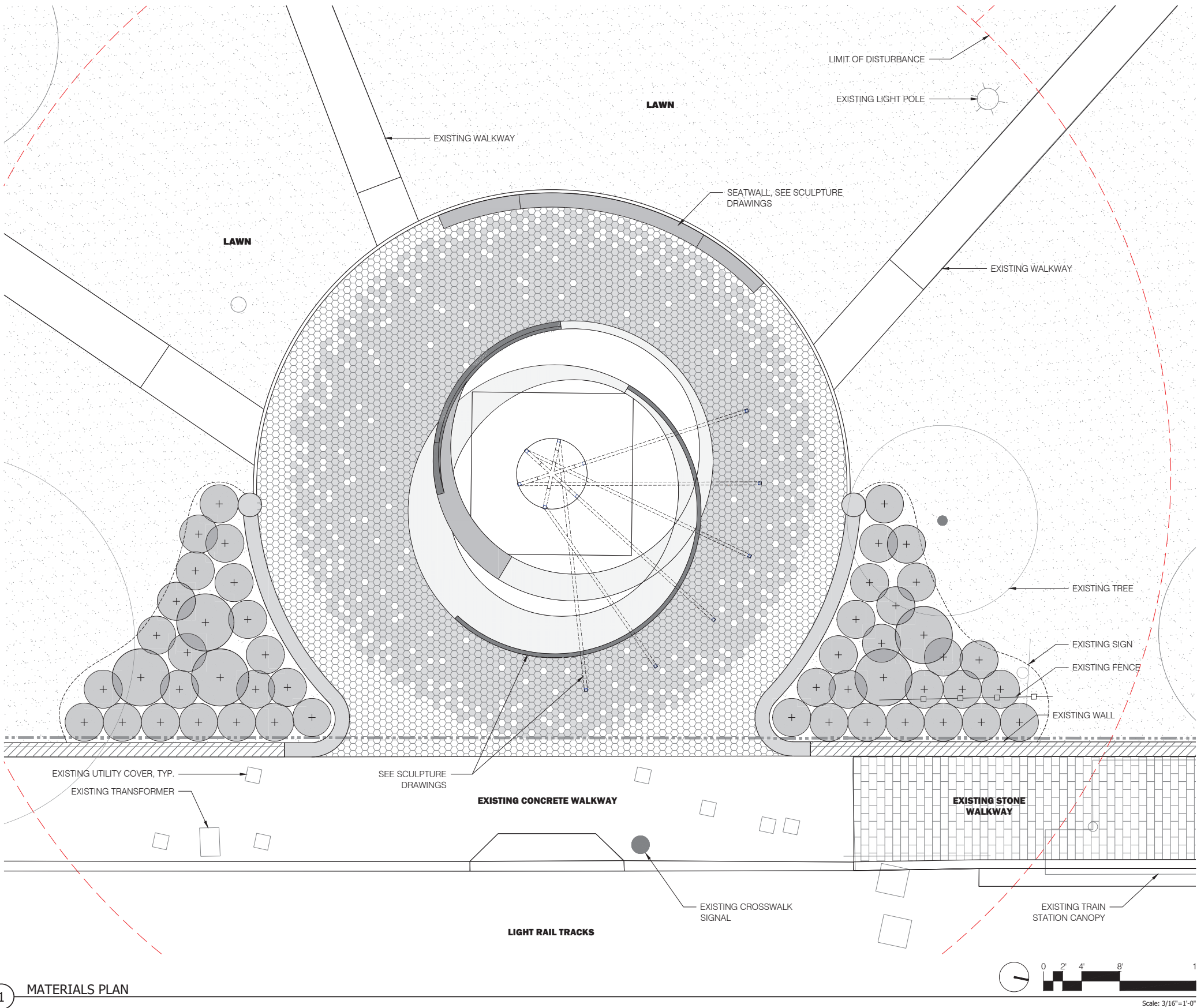
L-301

LEGEND:

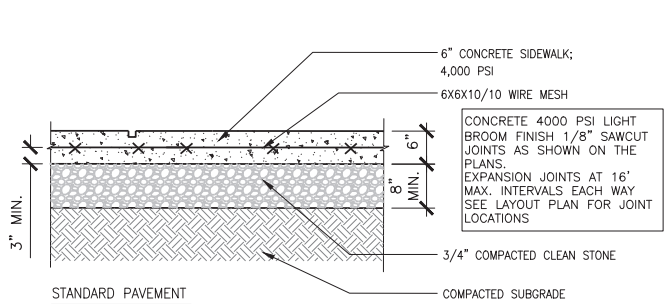
- EXISTING TREE
- ARROWWOOD VIBURNUM
(Viburnum dentatum)
- SPREADING ENGLISH YEW
(Taxus baccata 'Repandens')
- PLANTED AREA
- PROPERTY LINE

NOTES:

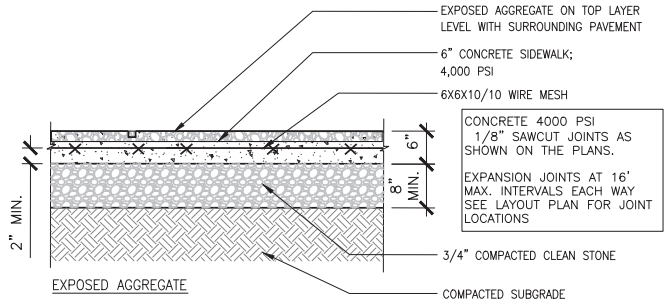
1. Layout: The plant locations shown on the Drawings are approximate. The Contractor shall layout the plantings as shown on the Drawings and receive approval from the Landscape Architect prior to installation. Contractor shall make adjustments as determined by the Landscape Architect without additional cost to the Owner.
2. Identifying and Exposing the Root Flare: Prior to setting the height of the rootball pedestal, the Contractor shall remove burlap and twine from the top of the rootball and inspect each plant to determine if the trunk flare is buried within the rootball. Adventitious roots and girdling roots shall be removed with sharp pruners.
3. Plant Material: Contractor shall provide photographs of plants taken at the Nursery Source. Photographs shall be labeled with the plant species botanical name, nursery name, plant size, and date of photograph. Photographs shall include full range of characteristics of each plant including detailed photographs of the bark, base of the tree, leaves (if present), branching structure, form, and habit. For container plants, provide close up photographs of the rootball with the container removed. Obtain approval from Landscape Architect prior to plant procurement.
4. On-Site Inspection of Plant Material: The Landscape Architect will inspect the plant materials for size and condition of rootballs and/or root systems, insects, injuries, defoliation, wind burn and latent defects. The Contractor shall remove plant material that is unsatisfactory, as determined by Landscape Architect, and replace the plants at no additional cost to the Owner.
5. Substitutions: In the event that the Contractor is unable to obtain the plant material specified, either because of unavailability or the failure of the plant material to meet the quality requirements, the Contractor shall provide substitute plants of equal size, quality, character, overall form, branching habit, and value to the plant material originally specified. The substitute plans must be approved by the Landscape Architect prior to procurement.



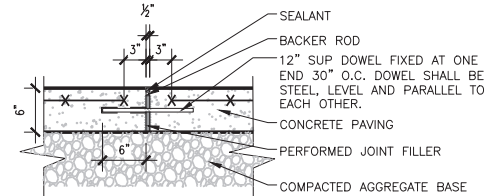
1 MATERIALS PLAN



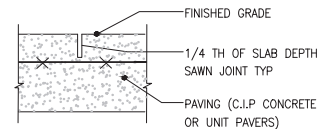
1 CIP CONCRETE PAVEMENT (C1)
SCALE: NTS



2 EXPOSED AGGREGATE CONCRETE (C2)
SCALE: NTS

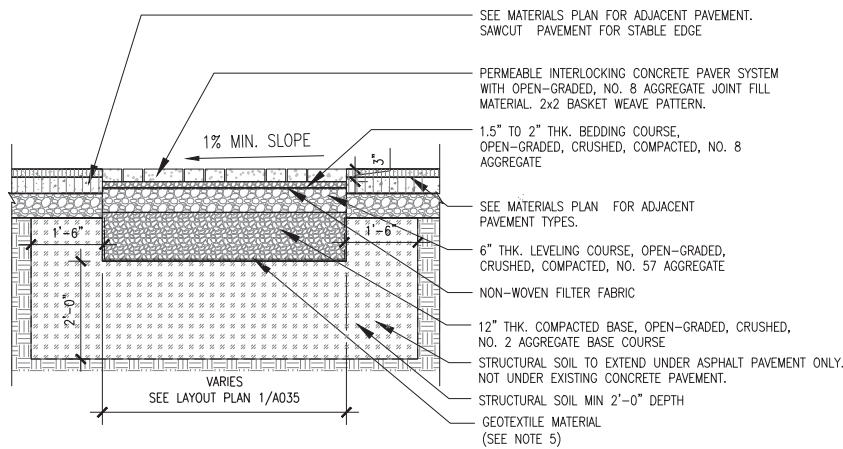


3 CONC. PAVEMENT - EXPANSION JOINT
SCALE: NTS

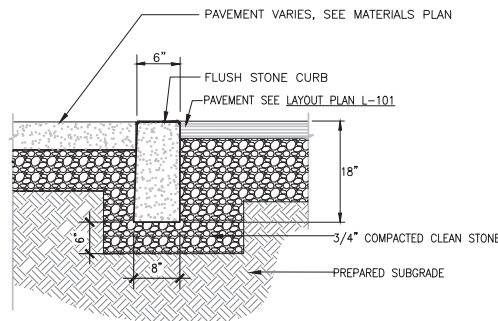


4 CONC. PAVEMENT - COTROL JOINT
SCALE: NTS

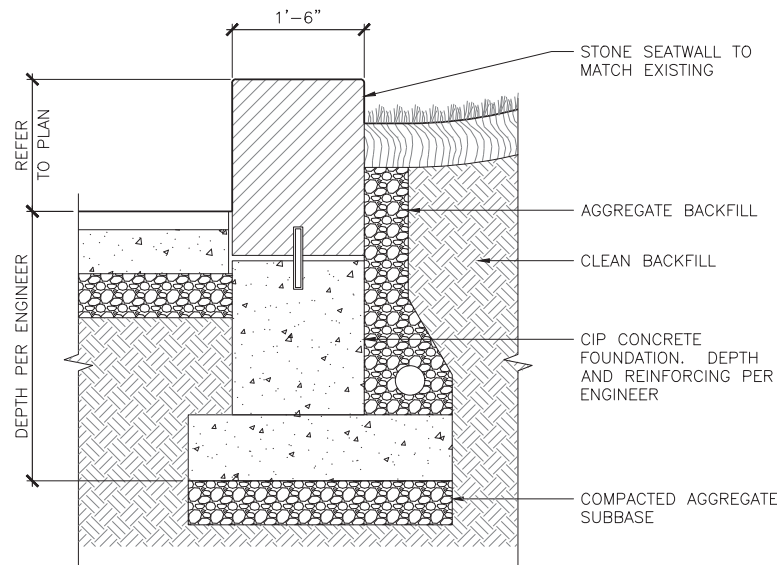
- NOTES:
1. ALL AGGREGATE MATERIAL MUST BE CRUSHED ANGULAR STONE, WASHED & FREE OF FINES.
 2. COMPACT SUBSOIL TO 95% STANDARD PROCTOR DENSITY PER ASTM C698.
 3. SURFACE SLOPE FOR PERMEABLE PAVING AREA SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%.
 4. MAINTAIN A MINIMUM DISTANCE OF 2'-0" BETWEEN BOTTOM OF COMPACTED BASE AND WATER TABLE.
 5. PROVIDE SEPARATION GEOTEXTILE ALONG BASE TO MITIGATE SUBSOIL CONDITIONS AS PER SPECIFICATIONS. OVERLAP MIN. 1'-0" AT JOINTS.
 6. PERMEABLE INTERLOCKING PAVER SYSTEM BASIS OF DESIGN: 'HEX CITY PARK PAVER' BY UNILOCK PAVING STONES.



5 PERMEABLE UNIT PAVERS (C3)
SCALE: NTS

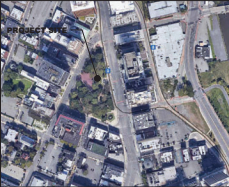


6 FLUSH STONE CURB
SCALE: NTS



7 STONE SEATWALL
SCALE: 1"=1'-0"

NOT FOR
CONSTRUCTION



Harriet Tubman
Monument

Tubman Square
Newark, NJ

Site Details

REV. / ISSUE	DATE	BY	CHK.	DESCRIPTION

DATE: APRIL 18th, 2022

SCALE: AS NOTED

DRAWN: EDGEWATER

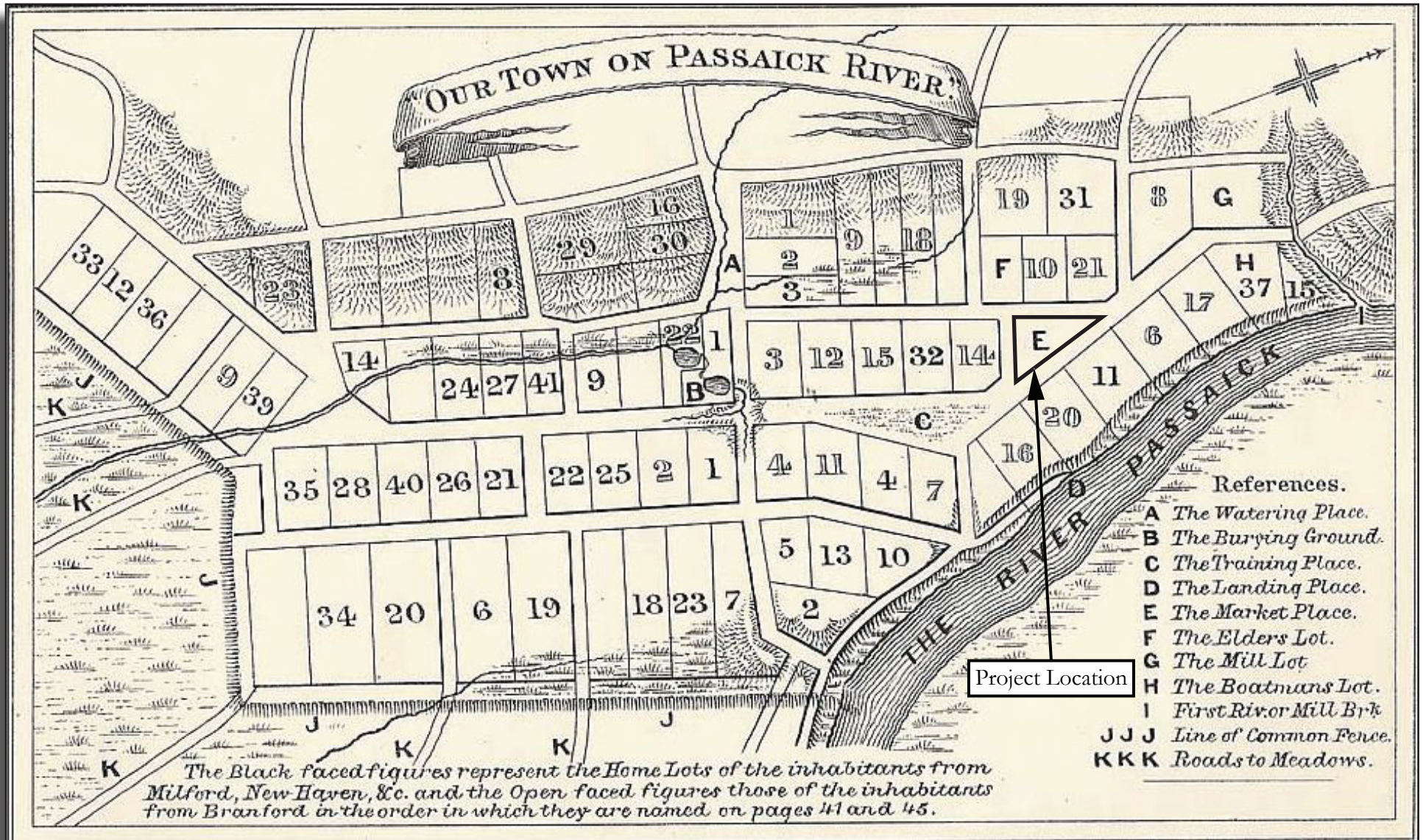
CHECK: EDGEWATER

SHEET 8 OF 8

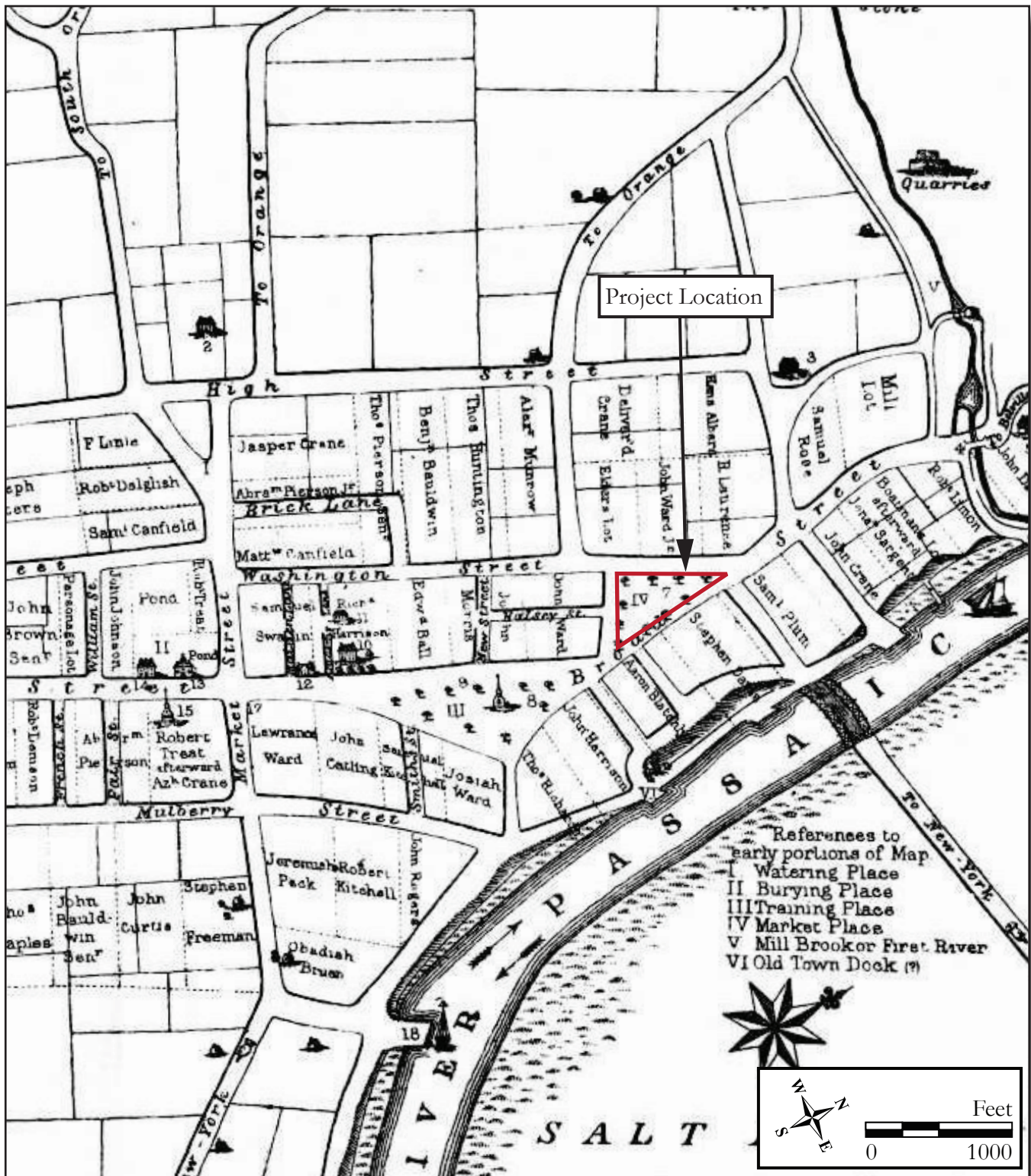
DRAWING No.:

L-401

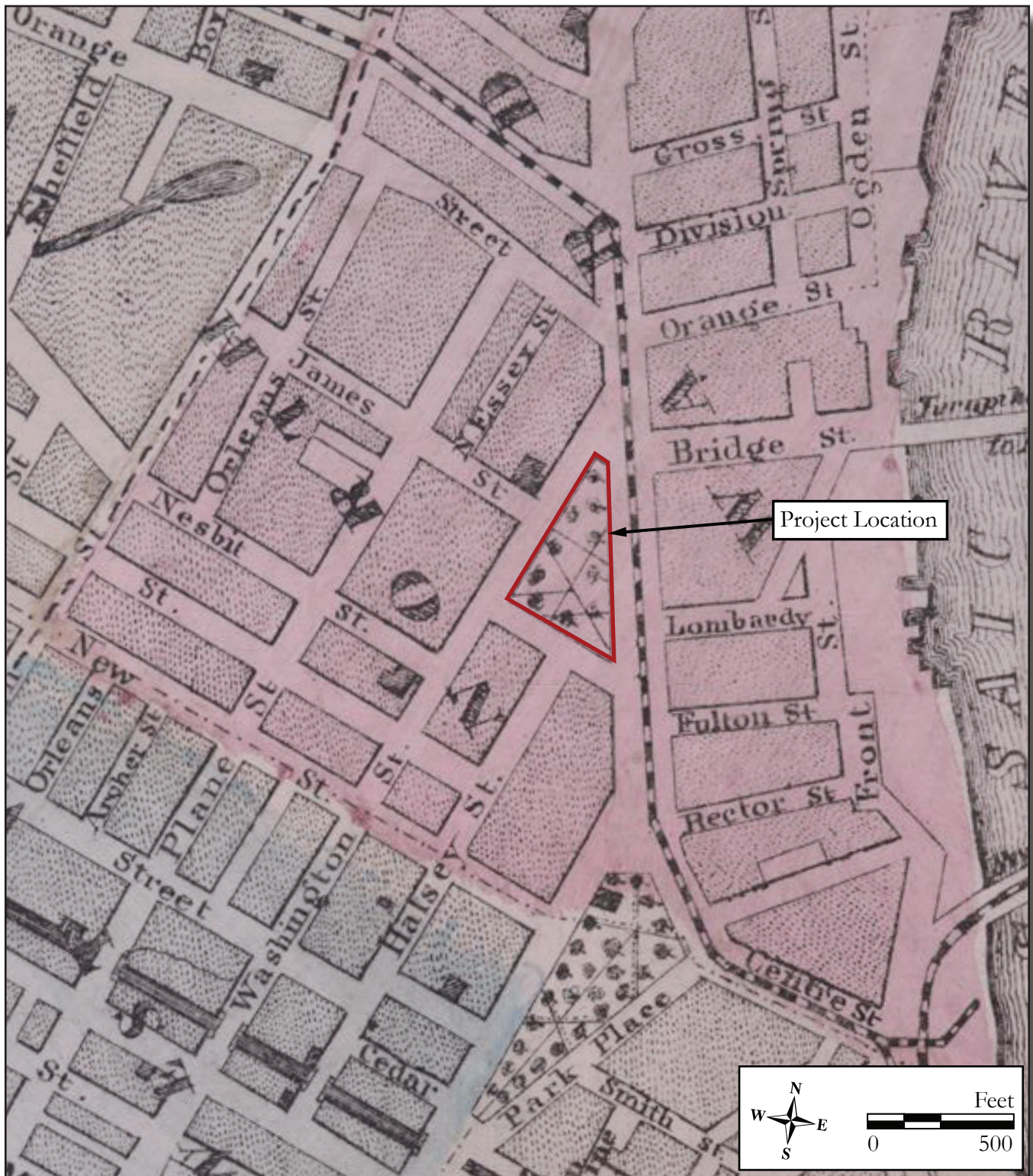
ATTACHMENT A.5:
HISTORIC IMAGES AND FIGURES



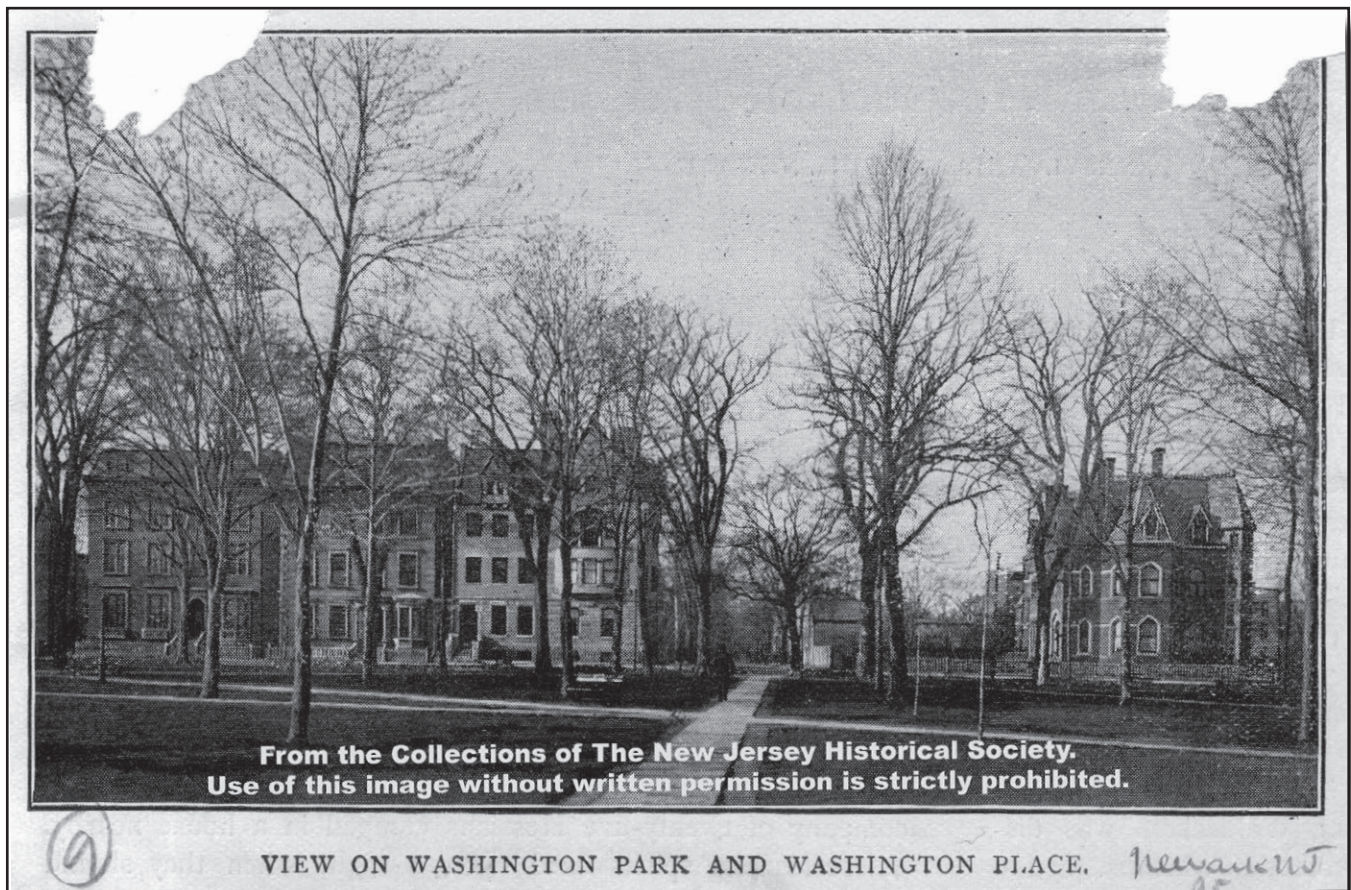
Attachment A.5 – Figure 1: 1666 Conger, *Our Town on Passaick River*.



Attachment A.5 – Figure 2: 1806 Holbrook, *A MAP of the Town of NEW-ARK in the State of NEW JERSEY*.



Attachment A.5 – Figure 3: 1853 Magnus, *Map of the City of Newark*.



Attachment A.5 – Figure 4: Late nineteenth-century image of Washington Park facing Washington Place (New Jersey Historical Society).



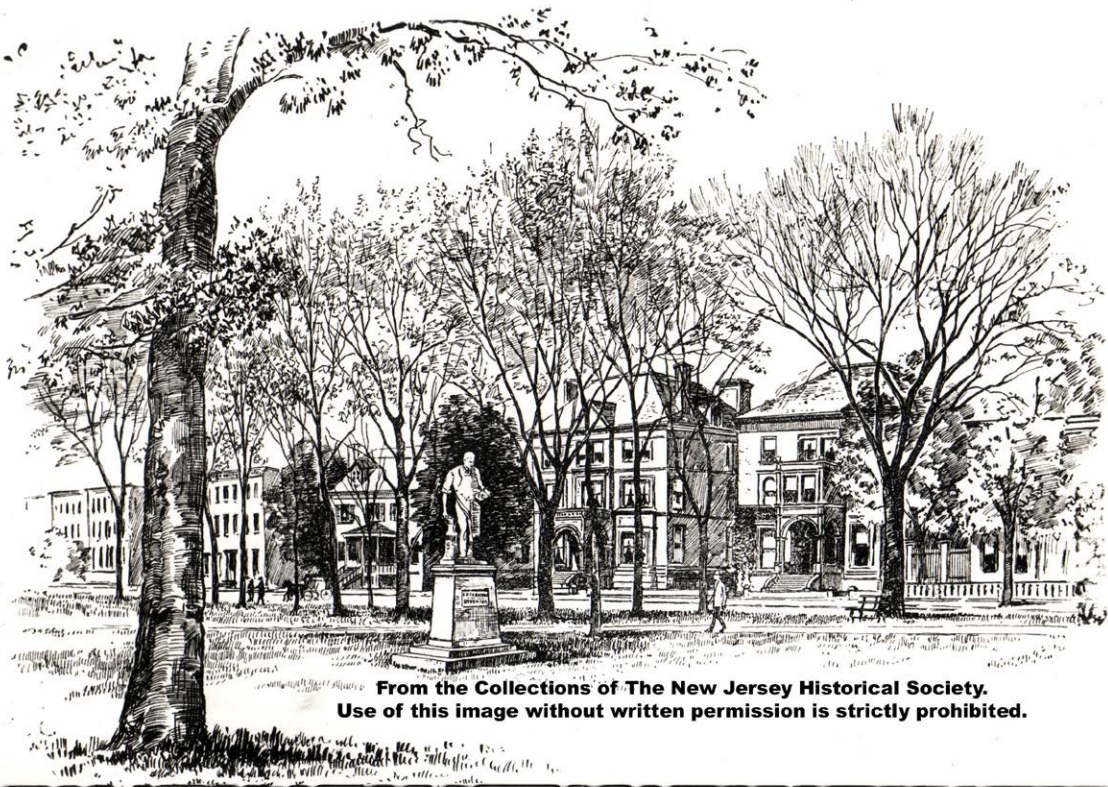
Attachment A.5 – Figure 5: Early twentieth-century postcard of Washington Park facing Washington Street featuring the Second Presbyterian Church (New Jersey Historical Society).



Attachment A.5 – Figure 6: Early twentieth-century postcard of Washington Park facing Washington Street with views of residences and the Second Presbyterian Church (New Jersey Historical Society).



Attachment A.5 – Figure 7: 1890 image of the unveiling of the monument to Seth Boyden in Washington Park (New Jersey Historical Society).



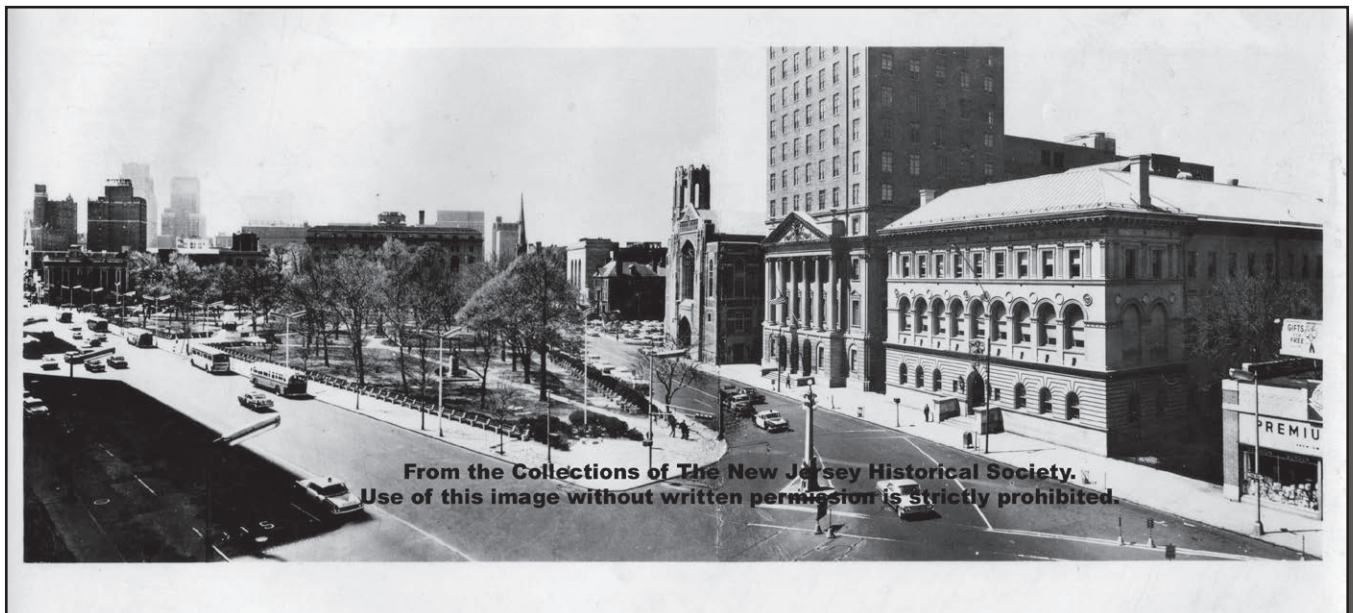
Attachment A.5 – Figure 8: Sketch of Washington Park showing *Seth Boyden* (1890). The Ballantine Mansion is visible in the background (New Jersey Historical Society).



Attachment A.5 – Figure 9: 1892 image of the *Dr. Abraham Coles* memorial depicting the original pedestal (Haight 1892).



Attachment A.5 – Figure 10: Early twentieth-century image of Washington Park. The Newark Public Library is visible in the background (right) (New Jersey Historical Society).



Attachment A.5 – Figure 11: Mid-twentieth-century image of Washington Park
(New Jersey Historical Society).

ATTACHMENT B

PROJECT DESCRIPTION

The City of Newark proposes to renovate Washington Park, which includes renaming it Harriet Tubman Square and installing a new sculpture of Harriet Tubman to replace a removed statue of Christopher Columbus. The Harriet Tubman sculpture was designed by architect Nina Cooke John. The current Washington Park (Block 23, Lot 1) is one of the oldest public parks in New Jersey, with several monuments throughout and transportation stops around its perimeter. It is the focal point of cultural and arts institutions, which border the park's perimeter. The entire park is planned to be re-designed with organic walkways that promote outdoor gatherings and community activity, new landscaping, and a sculpture garden. Audible, Inc., a community partner, will provide audio content accessible in specific locations throughout the new park as part of a proposed multi-sensory experience for visitors. The City hopes to create a perpetual space for the community to grapple with its historic past, present, and future.

Washington Park is a contributing resource to the New Jersey Register- (NJR-) and National Register of Historic Places- (NRHP-) listed James Street Commons Historic District (NJR: 2/10/1977; NR: 1/9/1978). Located along the northeast border of the historic district, the triangular parcel is bounded to the west by Washington Street, to the south by Washington Place, and to the east by Broad Street. Washington Park is considered the historic district's most significant natural feature and continues to serve as one of three original green spaces established by Newark's founding citizens (Vacca 1976). Near the northern vertex of the park is the statue *Indian and the Puritan*, a masterpiece by Gutzon Borglum; the statue is individually listed in the NJR (9/12/1994) and NRHP (10/27/1994). The immediate surrounding area is characterized as dense urban fabric consisting of residential, commercial, and institutional developments that range in date from the late nineteenth century to the late twentieth century. Adjacent to Washington Park to the east along Broad Street are high-rise buildings associated with Newark's present-day Central Business District as well as the NRHP-listed North Reformed Church (NJR: 8/2/1972; NR: 10/5/1972) and the New Jersey Bell Headquarters Building (NJR: 8/3/2005; NR: 9/21/2005). In addition to the James Street Commons Historic District and the Addendum, which encompasses Washington Park, five NRHP-eligible and -listed historic districts are located within several blocks of the park to the north and south: the Old Main Delaware, Lackawanna, & Western Railroad Historic District (SHPO Opinion: 6/7/2004), the Delaware, Lackawanna & Western Railroad Newark Grade Crossing Elimination Historic District (SHPO Opinion: 3/19/1996), the Morris Canal (NJR: 11/26/1973; NR: 10/1/1974), the Military Park Commons Historic District (SHPO Opinion: 8/29/1990; NJR: 8/24/2004), and the Newark City Subway Historic District (SHPO Opinion: 3/19/1996).

The Harriet Tubman monument emerged from a recent re-evaluation of the history of Newark. New Arts Justice and Monument Lab curated a public art and history exhibition in 2019 named *A Call to Peace*. The exhibition was organized as a response to the monument *Wars of America* (Gutzon Borglum 1926) in nearby Military Park; the sculptor for that monument was affiliated with the Ku Klux Klan. The exhibition proposed some prototype monuments. In 2020, the Christopher Columbus monument was removed from Washington Park, leaving its base, and afterwards a call went out for a monument to Harriet Tubman and the Underground Railroad. In 2021, architect Nina Cooke John was chosen to design the Tubman monument. In April of 2022, additional elements adorning the Christopher Columbus base including the cast bronze garland of ram skulls and shields and four bronze panels were removed by the City of Newark. The removed artwork was donated to St. Lucy's Roman Catholic Church, at the request of local historic preservationists.

The entire park will be re-designed in phases; Phase 1a will include the construction of the Harriet Tubman monument and the re-dedication of the park as Harriet Tubman Square in 2022. Phase 1b will cover the changes to the circulation system and associated amenities. Phase 2 will include changes to the southwest corner of the park and construction of additional support amenities.

Description of the James Street Commons Historic District

According to the National Register Nomination, the James Street Commons Historic District meets Criterion A in the areas of Archaeology-Historic, Architecture, Community Planning, Education, Industry, Sculpture, and Social/Humanitarian (Vacca 1976). The district is architecturally significant and meets Criterion C as an intact and fairly well-preserved collection of residential, commercial, and institutional buildings that reflect a burgeoning urban center of the late nineteenth and early twentieth centuries. At the time of nomination, the 24-block area contained approximately 375 building units and was one of the last and largest remaining concentrations of late nineteenth-century brick and masonry townhouses in the City of Newark. Overlooking Washington Park is a collection of some of the city's most important institutional and large-scale commercial buildings that embody Newark's statewide prominence as a financial and educational center largely dating from 1910 to 1930. Architecturally, the district exhibits examples of the Second Renaissance Revival, Georgian Revival, and Art Deco styles. Multiple properties within the district are individually listed in the NJR and/or NRHP: Ballantine Mansion (NJR: 9/6/1973; NR: 10/2/1973; NHL: 2/4/1985), Saint Patrick's Pro-Cathedral (NJR: 8/1/1972; NR: 11/3/1972), Lyons Farm Schoolhouse (NJR: 11/20/1973), and the Polhemus House (COE: 10/27/2008). The National Register Nomination for the district was amended in 1983 to include the Eagle Fire Insurance Company building at 18 Washington Place (Higgins 1982).

The 1976 National Register Nomination suggests that the period of significance for the James Street Commons Historic District ranges from 1800-1899 and 1900- (Vacca 1976). For purposes of this application, the recommended refined period of significance extends from 1850 to 1932, beginning with the emergence of the area as one of the most fashionable districts in the city and ending with the construction of the Eagle Fire Insurance Company Building at 18 Washington Place, the last of the important large-scale commercial buildings to be constructed within the district.

Description of Washington Park

Washington Park is a contributing resource to the James Street Commons Historic District (Vacca 1976). Research suggests that the park is not a designed landscape, but rather a green space that has evolved over the course of four centuries with multiple improvement campaigns initiated by unofficial organizations. The approximately three-acre parcel (Block 23, Lot 1) contains the historic commons originally known as the Market Place and later as the North Common or Upper Green, one of three important plots reserved for public use by the Puritan founders of Newark when the town was laid out in the seventeenth century (see Attachment A.5: Figures 1 and 2). These level, triangular tracts of land were situated at important road intersections, which shaped their footprints. The name "Upper Green" referred to the fact that the future Washington Park was the northernmost of these three public spaces. The other two are the "South Commons" (present-day Lincoln Park) and the "Training Ground" (present-day Military Park). The Upper Green was designated as the settlement's primary market or fair ground and was initially intended to contain the town's Congregationalist Church; however, the church was constructed on land that was set aside as the community's burying ground (Wacker 1975: 265-266).

The townscape instituted in Newark, as well as Elizabeth, Woodbridge, and Piscataway to the south, consisted of an amalgamated form of English and New England open and enclosed field systems (Gall 2009, 2011, 2014). The original plan included "home lots" where each family would build a house, with the surrounding farmlands and meadowlands divided separately among the same families. Ownership of each home lot was granted in 1666 in the first town meeting (Field 1864:5). Map data indicates that the Newark associates created a nucleated town plan similar to those established in New England composed of town house lots surrounding several town greens. Present-day Washington Park, bounded by Broad Street, Washington Street, and Washington Place, is a triangular parcel that assumed multiple names over the centuries, including the Market Place, the North Common, and the Upper Green. It served as the location of a town market for one and a half centuries.

The township of Newark grew throughout the remainder of the seventeenth and early eighteenth centuries to become one of New Jersey's principal settlements. In 1774, the township approved the construction of the first Newark Academy "in the Town Commons at the North End of the Town" (Field 1864:155-157). The

building was later described as “a slightly and commodious stone edifice, two stories high, with dwelling-rooms for the teacher and his family, besides accommodations for pupils who might desire to be lodged and boarded” (Shaw 1884:652). Research suggests that the structure stood near the southeast corner of Washington Park (Shaw 1884:38). During the American Revolution, the Academy was used as a barracks for Patriot soldiers. On January 25, 1780, British forces entered Newark and arrested 16 Patriot soldiers stationed in the building. They then burned the building to prevent its further military use (Moore 1860: vol. 2, page 255). The Academy ceased operations, constructing a new building elsewhere in Newark in 1792 (Shaw 1884:652). The ruins of the academy remained on the Upper Common for several years, and it appears that the Academy’s board did not believe it had the authority to demolish the ruins. At the town meeting in 1796, it was decided that “the proprietors of the School House at the North End of the Town” were authorized “to remove said School House on the Upper Common” (Field 1864:175).

The demolition of the first Academy and the growth in population precipitated a desire to have a more formal market place. In 1786, a group of men was authorized by the Newark annual town meeting to “build an House for a Public Market in the Broad Street” (Field 1864: 162). The location of the market was not specified; it could have been located on or adjacent to the Upper Common. In either case, the market house was not immediately constructed. An interesting article published in *Woods’s Newark Gazette* in 1791 recommended “erecting a market long wished for” in Newark “where our butchers and other market folks might find a momentary resceptacle” and always be open (*Woods’s Newark Gazette*, 18 August 1791:2). The market house that was eventually constructed was torn down in 1825 and rebuilt along the proposed route of the Morris Canal (Field 1864: 238).

At the turn of the nineteenth century, the Upper Green plot transitioned into a park and became the focal point of the city’s most fashionable residential district. The Upper Common was re-named Washington Park, although the alternate names continued in use as well. The new name first appeared in the *Newark Daily Advertiser* in 1835 in a sale advertisement for an adjacent parcel (*Newark Daily Advertiser* [NDA], 9 September 1835). The name “Upper Common” was also in frequent use in newspapers from 1796 until 1865 (NDA, 27 November 1865). The Upper Common remained in periodic use as a market location. The town meeting in 1813 appointed a committee to build “a pale fence, with proper gates, railings and walks around the Common in front of Gen’l. Cumming’s” and around Military Park “provided that the said commons are to be and remain for the original public use in the town patent designated” (Field 1864:205). Constructing the fence did not seem to have accomplished the purpose, as in 1819 the town meeting directed the Town Committee “to pursue legal measures to prevent trespass upon the Upper and the Military Commons, and to protect the same from encroachments and injuries by carriages passing over the same” (Field 1864:228).

Once Washington Park became a public park, issues around maintenance were periodically raised and usually resolved by private organizations. A group of citizens held a public meeting in 1841 to discuss “taking measures for the adorning and improvement of the Washington Park,” but it is unclear what work they completed (NDA, 27 November 1841:3). Complaints were registered in 1847 that people were shooting “wild Pigeons... upon the upper Common, or Washington Park” (NDA, 10 September 1847). As reported in November of 1848, local residents organized an informal organization to raise funds to plant trees in Washington Park, the first indication of an ongoing series of public/private partnerships to manage the park (NDA, 11 November 1848). The following spring, the City of Newark rebuilt the fence around Washington Park (NDA, 14 April 1849). A resident commended the new fencing and trees but complained that the old gates did not close appropriately and that none could be fastened. He wrote, “it is particularly annoying to see at all times cattle, hogs and geese ranging over the grounds and destroying the new grass as fast as it appears” (NDA, 26 June 1849:2). The 1847 Van Winkle *Topographical Map of the City of Newark Essex County, NJ* clearly depicts Washington Park as well as the first semblance of its present-day path network (Van Winkle 1847; see Attachment A.5: Figure 3). Further municipal maintenance was rather rare. The *Newark Daily Mercury* complained in 1857 that Washington Park had no amenities such as benches or fountains, although it would have only cost \$500 for these features (Galishoff 1988: 17). The Committee on Public Grounds and Buildings responded in 1860 by adding \$100 worth of seats in Military Park and Washington Park (NDA, 7 June 1860:2).

During the last three decades of the nineteenth century, wealthy industrialists, merchants, and financiers constructed beautiful and expensive houses fronting Washington Park and adjacent side streets. The surrounding area was transformed into a serene, tree-shaped residential oasis within the rapidly industrializing urban landscape (see Attachment A.5: Figure 4). New and lavish mansions were constructed for Joseph Ward, president of the Essex County National Bank; Caleb S. Ward, a grocer; Charles S. Graham, president of the North Ward National Bank; Samuel C. Howell, an enamel leather manufacturer, and Marcus Ward, who served a term as Governor of New Jersey (Ball 1955). One of the most architecturally lavish of these residences belonged to John Holme Ballantine, son of the founder of the Ballantine Beer Brewery and later president of the enterprise. In 1885, he constructed a lavish, three-story mansion along Washington Street of pressed red brick with Gothic-Renaissance detailing (Pitts 1984). Today located at 43 Washington Street, the mansion is one of the last extant remnants of late nineteenth-century residential opulence along Washington Park. During this period, the Second Presbyterian Church, first constructed in 1811 and enlarged in 1888, dominated the corner of Washington and James streets and was one of the showpieces of the park's architectural landscape (see Attachment A.5: Figures 5 and 6; Vacca 1976:10). By 1890, Newark was New Jersey's hub of finance and commerce and a merging point of communication. In the fall of that year, the opening of the first electrified trolley lines revolutionized inner city transportation (Cunningham 1966:193).

The Committee on Public Grounds and Buildings maintained Newark's public parks through the final decades of the nineteenth century. A single volume of committee minutes survives from 1880 to 1890, ending just as the first statue was installed in Washington Park. Throughout these years, the committee managed the trees (removing damaged trees and planting replacements), the fences and gates, and the curbs. In 1883, the electric company installed "a large lamp of the Bray patent" in Washington Park without permission (Committee on Public Grounds and Buildings minute book [CPGB], 26 December 1883). Although the committee required the removal of the lamp, it also decided to appoint a subcommittee to work with the gas company and the electric company to install both gas lights and electric lights in the public parks, with the committee selecting the locations of the lights (CPGB, 7 January 1884). The committee continued to manage the trees growing in the park; an elderly resident reminisced that during the early nineteenth century "I do not recollect seeing any trees on the commons, as the parks were then called" (Shaw 1884: 379). In 1889, the committee directed the water company to relocate the fire hydrants in Washington Park to positions along the curb and not in the middle of the park (CPGB, 13 November 1889).

With the dawning of the City Beautiful Movement, an alliance of city planners, politicians, and business leaders sought to improve the city's public image and appearance. Reformers also called for more public works throughout the city, resulting in improvements to the downtown parks with the addition of statues and monuments (Zakalak 1994). The first public monument in Washington Park (the second in Newark), a memorial to renowned inventor Seth Boyden, was unveiled in 1890 after an 18-year fundraising campaign (see Attachment A.5: Figures 7 and 8; Bzdak 1999:25). In 1897, a bronze bust of prominent physician and President of the New Jersey Medical Society, Dr. Abraham Coles, was placed in the park, notably designed by one of the earliest American sculptors, John Quincy Adams Ward (1830-1910) (see Attachment A.5: Figure 9; Haight 1898:44). Subsequent monuments were established over the course of the next 100 years, including but not limited to *George Washington Bids Farewell* (1912) by John Massey Rhind, the *Indian and the Puritan* (1916) by Gutzon Borglum, and *Christopher Columbus* (1927) by Giuseppe Coichetti (Urquhart 1913:84; Thurlow 1975:12; Van der Krogt 2006). The dedication events for each monument were attended by important politicians, the city elite, and thousands of spectators. Documentation does not support a design plan or specific strategy for the placement of monuments throughout the park. Sculptures continued to be erected in the park throughout the twentieth and twenty-first centuries, the most recent unveiled in 2012.

By the twentieth century, the wealthy had begun to move from the area in favor of more desirable locales on the city's outskirts or adjacent suburbs. The Washington Park neighborhood began to transition from its role as the centerpiece of an elite residential community to the setting for the city's most important civic and financial institutions. In 1901, the grand Newark Public Library, a four-story, granite and marble structure was constructed on the corner of Washington and Broad streets. The building was the largest public library in the State of New Jersey at the time (see Attachment A.5: Figure 10). Two decades later, the Globe Indemnity

Insurance Building (present-day U.S. Department of Veterans Affairs Newark Regional Benefit Office) replaced several mansions along Washington Place. The construction of the insurance company building was followed shortly thereafter by the construction of the Newark Museum, at the corner of Washington Place and Washington Street. The property was once the residence of the Ward family, who had occupied the site since Newark's establishment. Following the passing of the former governor and last of the family's lineage, Marcus Ward, the home was leveled to make way for the construction of the museum in 1926. The three-story, Classical Revival, limestone museum was built at a cost of \$750,000 and donated to the city by Louis Bamberger, the founder and owner of the Bamberger's chain of department stores (Vacca 1976:13).

Newark's relatively quick rise to national industrial and financial prominence during the second half of the nineteenth century was counterbalanced by a slow decline that commenced with the onset of the Great Depression. The financial collapse of 1929-1941 initiated a decline in the city's manufacturing base that impacted employment for the city's largely working-class population. By the 1960s, Newark had become a reduced urban center, largely defined by polarized and segregated minority communities. The predominantly African-American population found itself confined to substandard federal housing projects under the Federal Urban Renewal Program and struggling with unemployment, poverty, and political disenfranchisement. The unrest and social imbalance reached a critical peak in the summer of 1967 when violent riots broke out, further accelerating the city's decay.

Despite the devastation during the era of urban decline, in recent decades Newark has strived to recover with revitalization efforts focused on restoring the city to its former splendor. In 1985, a private/public partnership named the Downtown Park Committee began to maintain Washington Park; the committee published a brochure for its dedication ceremony in which it briefly traced the park's history from a "horse market" to its manicured appearance in the late twentieth century (Downtown Park Committee 1985). Late twentieth-century alterations included the removal of the benches that once bordered the park as well as the addition of the New Jersey Transit Light Rail and Bus canopies along the park's east perimeter (see Attachment A.5: Figure 11). The *Indian and the Puritan* monument was relocated from the intersection of Washington and Broad streets to the park's northern terminus in 1977. Washington Park continues to serve as a public green space surrounded by the city's civic institutions.

Indian and the Puritan Sculpture

The *Indian and the Puritan* sculpture was one of three installed in 1916 to commemorate the 250th anniversary of the founding of Newark. Designed by John Borglum (1867-1941), the monument originally stood in the center of Washington Park; it was relocated to its current site near the northern vertex of the park in 1977 due to an intersection reconstruction project.

The monument consists of a likeness of a male Native American and a male Puritan standing on either side of a lamp standard atop a marble base. The human-scaled figures, chiseled from marble, stand with their backs to each other and to the square shaft lamp post which rises to a height of 22 feet. The lamp post tapers as it rises to a lamp finial overlooking two rows of bronze lamps designed to resemble marshmallow blossoms. The monument has inscription on the north and south sides; depictions of cattails representing the historic Newark meadows are located above the inscriptions, and the city seal plus a swag reading "1666-1916" are located below the inscriptions. The southern inscription reads "1666 The founders set aside the park near by as the town's market place. Never has it been put to any other use other than for the common good. To the North and Westward the Indians lingered as if reluctant to depart." The northern inscription reads "1795 The bridging of the rivers eastward and the rude road built across the marsh was an enterprise of patriotic citizens; an epoch-making event. It awoke the industries and made the present city possible." (Zakalak 1994).

Existing Conditions of Washington Park

Washington Park was established in 1666 as a public market place reserved by the city's first settlers. The approximately three-acre, triangular parcel is bounded to the west by Washington Street, to the south by Washington Place, and to the east by Broad Street. The park is characterized by grass lawns and gravel

interspersed with mature trees. A series of paved concrete pathways crisscross the park and roughly follows the nineteenth-century circulation pattern. Arranged throughout the green space are 10 monuments and statues. The monuments range in date from 1890 to 2012 and are primarily located at entry points or around the park's perimeter. The park is bounded on all sides by a paved sidewalk. The New Jersey Transit Light Rail and Bus canopies are located along the east border, facing Broad Street. Overall, Washington Park is in relatively poor condition and is underutilized.

Proposed Improvements

The City of Newark is developing plans for a complete redesign of Washington Park as part of the ongoing revitalization efforts in downtown Newark. The proposed design features a "Great Lawn" defined by an elliptical paver walkway that would accommodate special events, such as markets, festivals, and outdoor concerts. The edges of the park would be reconfigured to better connect the space with transit, local businesses, and cultural institutions, including new entry plazas along Broad Street and opposite Halsey Street. The site of the former Christopher Columbus monument along Broad Street is set aside for the new Harriet Tubman monument, the construction and installation of which constitutes Phase 1a of the overall project. At the intersection of Washington Street and Washington Place, areas are set aside for food truck parking, seating with tables, and a monument garden. New landscaping throughout the park would include trees and shrubs along the walkways to buffer automobile noise from Broad and Washington streets. A site plan of all tree species can be found in Attachment A.4. Decisions regarding the species, scale, habitat, diversity, care, and maintenance of the park's proposed flora will be further developed during the project's Design Development phase.

The overall plan, which includes changes to the circulation pattern, configuration of monuments, and landscaping, has been organized into a series of phases of work. The project's Phase 1a involves the installation of the Harriet Tubman monument and the re-naming of the park as the Harriet Tubman Square. Later project elements include Phase 1b (tree removal, creation of the great lawn, a new entry plaza, interior paths and landscapes, and new infrastructure). Phase II will include the reduction of part of Washington Place west of Halsey Street as a single lane, allowing an extension of the park in a portion of the current Washington Place, as well as a restroom facility installation.

The Harriet Tubman monument was designed by architect Nina Cooke John. The plans call for the installation of the monument along Broad Street slightly north of the center of that side of the triangular park. The monument will be surrounded by hardscape including pavers that will set it apart from the walking path that will run just to the west. The monument will have a spiral base that rises to the sculpture; on one side of the base will be a large relief of Tubman's face consisting of a mosaic of pieces of textured concrete. Also along the base will be vignettes with brief stories of various Newark residents. A "learning wall" will provide information on Tubman's life, including important dates, names of safe houses in New Jersey, and audio presentations. The statue portion of the monument will have two-dimensional outlines of Tubman that rotate around a central axis to give a three-dimensional impression of Tubman, with wrought iron ribbons leading down along the spiral to suggest a flowing dress.

The plan proposes the reconfiguration of park entrances. The Washington Monument Entry Plaza at Broad Street and Washington Place will retain the existing monument in the southeast vertex, to be encircled by pavers that sweep northwest into the park's interior circulation system and shaded by new trees. The South Entry Plaza will be located on Washington Place opposite the end of Halsey Street and will include pavers leading to both the Washington Monument Entry Plaza and to the elliptical pathway around the Great Lawn. The North Entry Plaza at the intersection of Broad and Washington streets will feature an elliptical path of pavers connecting to the interior circulation system. Finally, the existing New Jersey Transit Light Rail and Bus canopy location will be retained along Broad Street.

Other aspects of the plan bear comment. Two areas labeled Seating with Tables on the plans included in Attachment A.4 are proposed along Washington Street; the area near Washington Place is proposed to be enlarged in Phase 2 with the partial closing of Washington Place. A playground is proposed for a location in a

half-oval shaped area along Washington Place east of the South Entry Plaza, with a dog park north of the Washington Monument Entry Plaza. Restroom facilities are proposed for a location immediately southeast of the Great Lawn.

ATTACHMENT C:

STATEMENT OF PURPOSE

Parks have been central to the social fabric of Newark from the beginning, and the City's 860 acres of park lands represent the largest park system in the state. Currently, access disparity such as physical barriers limits enjoyment of parks. In his first term as mayor of Newark, Ras Baraka signed onto national standards and best practices for parks, including the standard of ensuring that every resident lives within a 10 minutes' walk from a park. One of the City's planning goals in its master plan is to meet the goal of a 10-minute walk for every resident within 10 years. The purpose of the proposed undertaking is to revitalize Washington Park and to reestablish the common as Harriet Tubman Square, a place for community activity with a regional and national presence in the twenty-first century. Three inter-related factors contribute to the general public benefit of the project.

The population of Newark has recently begun to recover from decades of decline. Between the federal census of 2010 and the recent 2020 census, the population of Newark increased by over 33,000 people, or 12 percent, indicating that the city is on the upswing after decades of decline (United States Census Bureau 2020). Furthermore, an analysis of census tracts indicates that the population of the immediate area around Washington Park/Tubman Square increased around 38 percent during the decade. Population statistics cannot adequately convey the importance of public spaces because it is estimated that 82 percent of Newark's jobs are held by people who commute from outside the city limits (Strunsky 2017).

Contributing to the rise in population is the ongoing reinvestment in properties in the vicinity of the park. In recent years, hundreds of millions of dollars from both the private and public sectors have been invested in transit, infrastructure, and public facilities, as well as new residential and office conversions. Current and proposed projects around Washington Park include the renovation of the historic New Jersey Bell Headquarters Building at 540 Broad Street to support 265 mixed-income apartments and office and ground floor retail spaces as well as the addition of 200 new apartments and medical offices at the corner of Orange and Broad Streets. Other major residential and commercial developments in the downtown area have been proposed or are presently underway, including the redevelopment of the Westinghouse property adjacent to the Newark Broad Street Station, a new high-rise apartment building at 1 Rector Street, and a seven-phase mixed-use redevelopment plan for the Newark Bear's Stadium property along the riverfront. The proposed CitiSquare Complex, one block northeast of the subject park, alone will bring 4,200 apartments to the area. Adopted in 2008, Newark has become dedicated to implementing the *Living Downtown Redevelopment Plan* in its mission to encourage development and rehabilitation that provides jobs and housing and additional revenue for city services, and to upgrade the living, working, and playing environment in the downtown area by creating a mix of day and night uses to the city (City of Newark 2008).

The ongoing COVID-19 pandemic caused a general drop in visitation to Newark's downtown. Compared to 2019, visitation in 2021 had declined 41 percent. Interestingly, Newark's parks bucked the trend. Usage of Military Park declined by only 10 percent, and usage of Lincoln Park increased 31 percent. Reduced programmatic elements from abutting corporate and institutional actors contributed to a drop in usage of Washington Park by 63 percent. Lack of basic amenities and seating, as well as reduced programmatic elements from abutting corporate and institutional actors contributed to a drop in usage of Washington Park by 63 percent.

Re-dedicating the park as Harriet Tubman Square will be a major initiative to recognize the African-American story in Newark's history. Prior to the Civil War, the White population was divided over slavery, with some actively supporting the Peculiar Institution and others (abolitionists) providing support to the Black population. When the First Presbyterian Church required Black members to stand in one corner during worship, the Black members separated and formed the Plane Street Colored Church. Many of its preachers formed strong networks with other Black abolitionists throughout the country, raising money for

Underground Railroad missions. One member, Samuel Cornish, who served as pastor of the church from 1839 to 1844 helped found the first Black national newspaper, and other National Abolitionists such as Fredrick Douglas also came to Newark to organize with its Black residents. Historians have debated whether Tubman herself ever visited Newark.

The proposed design of a revitalized Washington Park/Tubman Square responds to these factors with the intent of enhancing the quality of life for those who live, labor, and leisure in the city and improving the economic viability of the transforming urban center. Currently the park is underutilized and ill-equipped to support community programming and recreation. Prominently located in the downtown district and surrounded by cultural and educational institutions, international technology companies, and a growing residential neighborhood, the new park design will contribute to the transformation and renewal of the downtown area into a 24/7 destination. The proposed improvements realign city destinations, including the Newark Public Library, the Newark Museum, the Rutgers Business School, and new Audible, Inc. headquarters, towards a public park that also serves the existing and expanding business community. The proposed revitalized park will reconnect people and institutions to a natural landmark that symbolizes the city's past while creating a new future in the evolving landscape of the City of Newark.

ATTACHMENT D:

ALTERNATIVES/MITIGATION

Alternatives

Five alternatives have been developed to address the project need. The following evaluation of schemes documents the prudent and feasible alternatives, which avoid the resource or provide “measures to minimize harm.”

Alternative 1 – No Build

Under this alternative, Washington Park would remain in its present condition. This alternative would not encroach on the James Street Commons Historic District or the *Indian and the Puritan* sculpture.

The No Build alternative does not meet the project need because it does not improve the current conditions of Washington Park. If the proposed project is not undertaken, Washington Park will continue to be underutilized and neglected. Although the park would maintain its historic function and appearance under this alternative, continued neglect risks the degradation of Washington Park, which would denigrate the integrity of the park as a contributing resource to the James Street Commons Historic District. The park currently serves as a thoroughfare, rather than a destination for the surrounding community and does not appeal to the public as a space in which to engage with others or to linger for an experience of place. Without the redesign of the public common, as currently proposed, there is less likelihood for a revitalization of Newark’s downtown area, counteracting the city’s continuing efforts for renewal.

Alternative 2 - Rehabilitation

Under this alternative, Washington Park would be rehabilitated in accordance with the Secretary of the Interior’s *Standards for the Treatment of Historic Properties* and *Guidelines for the Treatment of Cultural Landscapes*. The property would continue to be used as it was historically and its existing historic character preserved. The current features, including the path network and paving, landscaping, trees, monuments, and footprint would be retained in their current locations and any repairs conducted in kind. If the severity of deterioration required replacement, the new feature would match the historic element in design, color, texture, and where possible, materials. Any additional elements, such as bathroom facilities or new construction, would be designed to be compatible with the historic nature of the park as to their size, scale, and proportion.

This alternative would not constitute an encroachment on the James Street Commons Historic District or the *Indian and the Puritan* sculpture. However, this alternative does not meet the project need. Left in its current configuration, Washington Park would continue to be underutilized. At present, the green space does not accommodate the needs of the burgeoning surrounding residential, commercial, and corporate community. Rehabilitation of the park would limit the necessary improvements needed to create a versatile municipal space in support of an urban core currently undergoing revitalization.

Alternative 3 – Alternate Location of the Proposed Design

Under this alternative, the proposed design would be constructed in a different location. This alternative does not meet the project need because it does not address the current state of Washington Park or contribute to the city’s focused revitalization efforts in the downtown area. Washington Park’s current location at the center of many downtown developments makes it well-positioned and accessible as part of a growing transit-oriented district with a blossoming arts and education sector. The proposed improvements discussed above are the result of extensive research, including the planned growth of surrounding corporate anchors, the planning and urban design context of the area, engagement with community and public stakeholders, and defining the park’s strategic objectives. The resulting proposed project is designed specifically for the needs of

Washington Park and the surrounding community of a growing residential population and workforce. The green space is a key component of Newark's continued downtown renaissance in creating a vibrant, sustainable town green that can be used to its full potential. Mirroring the recent restoration of nearby Military Park, the proposed project expands upon similar missions to reinvigorate one of Newark's oldest landmarks. By default, this alternative would not encroach on the James Street Commons Historic District or the *Indian and the Puritan* sculpture, as the alternate location for the proposed undertaking would be developed outside the district's boundaries.

Alternative 4 – Park Improvements

Under this alternative, the existing features of Washington Park would be improved to encourage public use. The character-defining features of the park, including the footprint, monuments, and path network would be retained. Additional amenities such as dining tables, benches, bathrooms, and playground would be located sporadically throughout the park where possible to avoid the various crossing paths. The open, graveled area on the east half of the lot would be designated for small events. Select monuments would be relocated to major entry points to highlight park access. The current flora would be improved with the addition of flowerbeds and shrubs where space is permitted.

This alternative does not meet the project need because it limits the park's use and does not reflect the city's vision to offer a vibrant and attractive public green space to its citizens. This alternative maintains the current path network, which does not accommodate large community activities and limits potential use. Similarly, the limited size of the open space on the east half of the park restricts possible utilization for outdoor events and gatherings. Furthermore, the park would continue to not live up to its full potential as a local destination in the greater effort to revitalize the downtown area or encourage growth of the surrounding residential and commercial population. Any additional amenities would be minimal in nature and would not provide the necessary improvements to meet public and corporate need. This alternative would not encroach on the James Street Commons Historic District or the *Indian and the Puritan* sculpture, provided the limited improvements of the park were designed and completed in accordance with the Secretary of the Interior's *Standards for the Treatment of Historic Properties* and *Guidelines for the Treatment of Cultural Landscapes*.

Alternative 5 – A New Design for Washington Park

Under Alternative 5, Washington Park would be redesigned to meet the project need and best practices for park design; in addition, the park will be re-dedicated as Harriet Tubman Square. Two primary elements of the new design include the installation of the Harriet Tubman monument along Broad Street and the new oval-spaced Great Lawn for programmed events and entertainment. Access to the park will be granted by re-designed entry plazas at the north and southeast vertices as well as along the southern side of the park, with the hardscape integrated into a new circulation system in the park with an organic design flowing around the Great Lawn. Other design elements include new landscaping throughout, seating with tables and a monument garden at the southwest corner, and restroom facilities and a dog park near the southeast vertex. A site plan of all tree species for Alternative 5 can be found in Attachment A.4.

The project has been divided into phases. Phase 1a (scheduled for Juneteenth, 2022) involves the installation of the Harriet Tubman monument, the re-naming of the park as the Harriet Tubman Square, the conservation of bronze plaques in the park, and renovations to the Monument Entry Plaza. During Phase 1b, larger project elements will take place, including tree removal, creation of the Great Lawn, new entry plazas, interior paths and landscapes, and new infrastructure. Phase II will include the reduction of part of Washington Place west of Halsey Street to a single lane, allowing an extension of the park onto a portion of the current Washington Place, as well as a restroom facility installation.

Importantly, the design of the new park is intended to celebrate a wider swath of people who have historically contributed to creating today's social fabric of Newark. As one of the most ethnically diverse cities in New

Jersey, Newark has many important but mostly untold stories of exemplary lives by residents who managed to overcome severe hardships and discrimination to achieve personal success. The re-dedication of the park as Harriet Tubman Square points to the multiple generations of African Americans whose contributions to the city have not always been recognized. The proposed monument to Tubman designed by architect Nina Cooke John will further explore both Tubman's life and the lives of Newark residents, resulting in a more balanced and inclusive celebration of the city's history and accomplishments.

The plan proposes the reconfiguration of park entrances. The Washington Monument Entry Plaza at Broad Street and Washington Place will retain the existing monument in the southeast vertex, to be encircled by pavers that sweep northwest into the park's interior circulation system and shaded by new trees. The South Entry Plaza will be located on Washington Place opposite the end of Halsey Street and will include pavers leading either to the Washington Monument Entry Plaza or to the elliptical pathway around the Great Lawn. The North Entry Plaza at the intersection of Broad and Washington streets will feature an elliptical path of pavers connecting to the interior circulation system. Finally, the existing New Jersey Transit Light Rail and Bus canopy location will be retained along Broad Street.

Other aspects of the plan offer various types of amenities to residents. The New Jersey Transit Light Rail and Bus stops along Broad Street will be retained, partially in front of the new Harriet Tubman monument. Two areas named Seating with Tables are proposed along Washington Street, one near food truck parking; the area near Washington Place is proposed to be enlarged in Phase 2 with the partial closing of Washington Place. A playground is proposed for a location in a half-oval shaped area along Washington Place east of the South Entry Plaza, with a dog park north of the Washington Monument Entry Plaza. Restroom facilities are proposed for a location immediately southeast of the Great Lawn. As part of the proposed alternative, most historic monuments would be relocated to the southwest corner, where during Phase 2, a portion of Washington Place will be vacated for the monument garden proposed for that location. A thorough inspection of all the monuments will be conducted prior to and during treatments and in compliance with the Guidelines for Practice of the American Institute for Conservation (AIC).

Preferred Alternative

The Preferred Alternative is Alternative 5. The proposed improvements aim to return the park to its former place as a symbol of Newark's urban history with a national presence in the twenty-first century. Situated in the downtown business district, the proposed new design for Harriet Tubman Square would reestablish the historic common as a significant space for public activity by featuring a central common that encourages public activities and social interactions. Proposed entry points will be at grade with the surrounding sidewalks, creating a space that is inviting, safe, and permeable to the community and public alike. These re-designed entry points will promote the continuing development of neighborhood institutions, business, and residences from all sides by establishing a policy of openness and an invitation to all in the tradition of a public space. The new circulation pattern with its re-imagined landscaping will be welcoming to visitors, inviting them to experience the park. The aesthetic redesign of the park will organize existing amenities such as landscaping and monuments with new services such as bathroom facilities, a dog park, playground, and area for dining and meetings. The park will have a new identity due to its re-naming as Harriet Tubman Square, along with the installation of a monument commemorating Harriet Tubman in the former location of the Christopher Columbus monument. Due to the nature of the proposed design, the Preferred Alternative will constitute an encroachment to the James Street Commons Historic District under the New Jersey Register of Historic Places Act.

Since 1666, Washington Park has served as one of the most significant green spaces in the heart of Newark. Once the showpiece of a fashionable nineteenth-century neighborhood and later Newark's most prominent civic institutions, Washington Park is a key component to the city's continued renewal in the twenty-first century. Currently neglected and underused, the proposed project intends to return the park to its former glory as a destination to be experienced by the area's growing residential, commercial, and corporate

community. Making improvements to Washington Park would bring significant public benefit to those who work, live, and leisure in a city that strives to reemerge as a viable urban center by creating a space of physical beauty, opportunity, and openness to all people. As Newark continues to transform, the new design of Washington Park will connect its people and institutions to the historic green space in a celebration of its past while forming a new future.

Mitigation

Alternative 5, the Preferred Alternative, proposes a redesign to Washington Park, a contributing resource to the James Street Commons Historic District. As currently designed, the proposed project will constitute an encroachment to the historic district and the *Indian and the Puritan* statue. Given the phased approach to the proposed redesign of the park, ongoing consultation with the New Jersey Historic Preservation Office is recommended with respect to identifying appropriate mitigation measures commensurate with the anticipated project impacts.

Bibliography

Ball, Miriam O.

1955 *Washington Park Through the Years*. Leaflet in the clipping files of the Newark Public Library.

Bzdak, Meredith

1999 *Public Sculpture in New Jersey, Monuments to Collective Identity*. Rutgers University Press, New Brunswick New Jersey.

City of Newark

2008 *The Living Downtown Plan, a Redevelopment Plan for Downtown Newark, New Jersey*. On file, Department of Housing and Economic Development, Newark, New Jersey.

Committee on Public Grounds and Buildings

n.d. Minutes 1880-1890. On file, Newark City Archives, Newark, New Jersey.

Conger, Samuel

1666 *Our Town on Passaic River*. Conger, Newark, New Jersey.

Cunningham, John T.

1966 *Newark*. New Jersey Historical Society, Newark, New Jersey.

Downtown Park Committee

1985 *Rededication of Washington Park May 23, 1985*". Leaflet in the clipping file of the Newark Public Library, Newark, New Jersey.

Environmental Systems Research Institute (ESRI)

2018 World Street Map, Geographic Information System data.
<http://server.arcgisonline.com/ArcGIS/rest/services/World_Street_Map/MapServer> Accessed February 12, 2019.

Field, Richard S. et al.

1864 *Records of the Town of Newark, New Jersey, From its Settlement in 1666 to its incorporation as a City in 1836*. Collections of the New Jersey Historical Society Vol. VI. New Jersey Historical Society, Newark, New Jersey.

Galishoff, Stuart

1988 *Newark: The Nation's Unhealthiest City 1832-1895*. Rutgers University Press, New Brunswick, New Jersey.

Gall, Michael J.

2009 *The Piscataway Commons: A History of Town Land Use in Piscataway Village*. Report prepared for the Middlesex County Cultural and Heritage Commission, New Brunswick, New Jersey.

2011 *Once Upon a Time in a Nucleated Village: English Land Use and Town Planning in 17th-Century, New Jersey*. *Bulletin of the Archaeological Society of New Jersey* 66.

2014 "An Earthly Tabernacle": English Land Use and Towns Planning in Seventeenth-Century Woodbridge, New Jersey. *Northeast Historical Archaeology* 43:18-48.

Haight, R. J.

1898 The Coles Monument, Newark, New Jersey. *Parks and Cemetery*. Vol. VIII. No. 3, May 1898. Chicago, Illinois.

Higgins, William

1982 Addendum to James Street Commons Historic District. National Register of Historic Places Inventory Nomination Form. On file, New Jersey Historic Preservation Office, Trenton, New Jersey.

Holbrook, A.M.

1806 *A MAP of the Town of NEW-ARK in the State of NEW JERSEY*. Reprinted 1891.

Moore, Frank

1860 *Diary of the American Revolution: From Newspapers and Original Documents*. Charles Scribner, New York City, New York.

New Jersey Historical Society

n.d. Manuscript Group 1362, Newark, New Jersey Photographs. On file, New Jersey Historical Society, Newark, New Jersey.

Newark Daily Advertiser [Newark, New Jersey]

1835 Sale advertisement for a property facing onto Washington Park. 9 September. Newark, New Jersey.

1841 Call for public meeting to beautify Washington Park. 27 November. Newark, New Jersey.

1847 Notice of pigeons in Washington Park. 10 September. Newark, New Jersey.

1848 Notice regarding curb installation at Washington Park. 11 November. Newark, New Jersey.

1849a Notice that Washington Park has a new fence. 14 April. Newark, New Jersey.

1849b Letter to the editor complaining that the gates at Washington Park are inoperable. 26 June. Newark, New Jersey.

1860 Notice that the Committee on Public Grounds has installed benches in Washington Park. 7 June. Newark, New Jersey.

1865 Notice regarding the Upper Commons. 27 November. Newark, New Jersey.

Pitts, Carolyn

1984 John Ballantine House. National Register of Historic Places Inventory Nomination Form. On file, Monument Inventory and Conditions Report, Washington Park, Newark, New Jersey.

Shaw, William H.

1884 *History of Essex and Hudson Counties, New Jersey*. Everts & Peck, Philadelphia, Pennsylvania.

Strunsky, Steve

2017 Newark residents don't get fair share of local jobs, report says. Electronic database, https://www.nj.com/essex/2017/04/report_says_newark_residents_dont_get_fair_share_o.html, accessed March 4, 2019.

Thurlow, Fearn

1975 *Newark's Sculpture: A Survey of Public Monuments and Memorial Statuary*. The Newark Museum Quarterly. Winter 1975. Vol. 6. No. 1. Newark, New Jersey.

United States Census Bureau

2020 Population Schedules, City of Newark, Essex County, New Jersey.

United States Geological Survey (U.S.G.S.)

1995 7.5' Quadrangle: Orange, NJ and Elizabeth, NJ-NY.

Urquhart, Frank

1913 *A history of the city of Newark, New Jersey: embracing practically two and a half centuries, 1666-1913*. Lewis Historical Publishing Co., New York, New York.

Vacca, Anthony S.

1976 The James Street Commons Historic District. National Register of Historic Places Inventory Nomination Form. On file, New Jersey Historic Preservation Office, Trenton, New Jersey.

Van der Krogt, Peter

2006 Christopher Columbus Status in Washington Park. Electronic database, www.vanderkrogt.net, accessed February 12, 2019.

Van Winkle, E. H.

1847 *Topographical Map of the City of Newark, Essex County, N.J. Drawn from Surveys Made by Order of the Common Council*. H.R. Robinson, New York, New York.

Wacker, Peter O.

1975 *Land and people: a cultural geography of preindustrial New Jersey origins and settlement patterns*. Rutgers University Press, New Brunswick, New Jersey.

Woods's Newark Gazette (Newark, New Jersey)

1791 Letter to the editor advocating construction of a market house. 18 August. Newark, New Jersey.

Zakalak, Ulana

1994 Public Sculpture in Newark, New Jersey. National Register of Historic Places Inventory Nomination Form. On file, New Jersey Historic Preservation Office, Trenton, New Jersey.

APPENDIX A:

NOTARIZED LIST OF PUBLIC AND PRIVATE PROPERTY OWNERS

CITY
OF **NEWARK**

Mayor Ras J. Baraka

Department of Finance
Office of Assessment

A City We Can All Believe In

Aaron M. Wilson, CTA, SCGRE, Esq.
Tax Assessor


920 Broad Street, Room 101
Newark, New Jersey 07102
Tel.: (973) 733-3950
Fax: (973) 733-4779 / (973) 353-8461
wilsonaa@ci.newark.nj.us

VARIANCE REQUEST

DATE: 2-18-22
BLOCK: 23
LOT: 1
ADDRESS: 501-551 Broad St

CONTAINING: 1 SHEETS OF 34 PROPERTIES

I, Aaron M. Wilson, Tax Assessor of the City of Newark, New Jersey, certify the foregoing list is a true list of the owners and their respective addresses of properties in the City of Newark, which are within 200 feet of the subject property.



Aaron M. Wilson
Tax Assessor

Name/ Company making request:

Telephone #



Block 23, Lot 1
501-551 Broad Street

BLOCK	LOT	QUALIFIER	CARD	PROPERTY_LOCATION	PROPERTY_ADDITIONALLOT1	PROPERTY_ADDITIONALLOT2	PROPERTY_CLASS	OWNER_OWNER	OWNER_ADDRESS	OWNER_CITYSTATE	OWNER_ZIP
14	4		1	562-564 BROAD ST			4A	562 BROAD NEWARK LLC,	PO BOX 32190	NEWARK, NJ	07102
14	7		1	558-560 BROAD ST	8		4A	560 BROAD NEWARK LLC,	PO BOX 32190	NEWARK, NJ	07102
14	9		1	548-556 BROAD ST			4A	550 FIDELCO HOLDINGS LLC	225 MILLBURN AVE #202	MILLBURN, NJ	07041
21	1		1	20-32 WASHINGTON PL			15C	UNITED STATES OF AMERICA	PENNSYLVANIA AVE	WASHINGTON, DC	20000
21	8		1	31-39 CENTRAL AVE			4A	COTTAGE ST ORBIT, C/O CUSHMAN	ONE MEADOWLANDS PLAZA	E. RUTHERFORD, NJ	07073
21	20		1	47 CENTRAL AVE			15A	RUTGERS STATE UNIVERSITY OF NJ	33 KNIGHTSBRIDGE RD 3FL E	PISCATAWAY, NJ	08854
21	21		1	45 CENTRAL AVE			15D	SALVATION ARMY	4 GARY RD	UNION, NJ	070835527
21	23		1	41-43 CENTRAL AVE			4A	COTTAGE ST ORBIT AQUISITIONS LLC	7420 S. KYRENE RD STE 101	TEMPE, AZ	85283
22	1.01		1	13-25 CENTRAL AVE			15B	NSA CENTRAL AVE LLC	826 BROADWAY 9TH FL	NEW YORK, NY	100034826
22	1.02		1	10-14 WASHINGTON PL			15B	NSA 10 WASHINGTON LLC	10 WASHINGTON PL	NEWARK, NJ	071023106
22	9		1	27 CENTRAL AVE			4A	KILKENNY NEWARK, LLC & HAMILTON PUB	27 CENTRAL AVE	NEWARK, NJ	07102
22	10		1	16-18 WASHINGTON PL	11		15B	NSA 18 WASHINGTON PLACE LLC	829 BROADWAY 9TH FL	NEW YORK, NY	10003
22	20		1	559 BROAD ST			15D	NSA 559 BROAD STREET,	826 BROADWAY 9TH FL.	NEW YORK, NY	100034826
22	21		1	561 BROAD ST			4A	VASILI, LLC	22 HOPKINS CT	PARSIPPANY, NJ	070542271
22	22		1	563 BROAD ST			4A	563 BROAD STREET REALTY LP	42 DEVON DR.	EAST BRUNSWICK, NJ	08816
22	23		1	565 BROAD ST			4A	WASHINGTON FLORIST, INC.	565 BROAD ST	NEWARK, NJ	071024503
22	24		1	567 BROAD ST			4A	WONG, TRUDY	108 FIRST STREET	KEYPORT, NJ	07035
24	29		1	538-546 BROAD ST			1	540 BROAD ST AFF OWNERS LLC	1865 PALMER AVE #203	LACHMOUNT, NY	10538
24	37		1	534-536 BROAD ST			4A	NEWARK 536 BROAD LLC C/O BES INC	64 E MIDLAND AVE STE 7	PARAMUS, NJ	076522934
24	40		1	516-532 BROAD ST			4A	BROAD ATLANTIC ASSOC, LLC	520 BROAD ST	NEWARK, NJ	071023121
24	52		1	508-514 BROAD ST			15D	NORTH REFORMED CHURCH	508 514 BROAD ST	NEWARK, NJ	07102
24	56		1	500-506 BROAD ST			15C	HOUSING AUTHORITY	500 BROAD STREET	NEWARK, NJ	07102
25	1		1	468-498 BROAD ST			4A	BROAD ST FIDELCO LLC	225 MILLBURN AVE STE 202	MILLBURN, NJ	070411712
32	18		1	351-495 BROAD ST			15F	RUTGERS THE STATE UNIVERSITY NJ	33 KNIGHTSBRIDGE RD 3FL E	PISCATAWAY, NJ	08854
32	18.01	C1	1	471-495 BROAD ST			4A	WASHINGTON PARK FIDELCO, LLC	225 MILLBURN AVE STE 202	MILLBURN, NJ	070411712
32	18.01	C2	1	471-495 BROAD ST			15A	RUTGERS THE ST. UNIVERSITY (PROVOST	33 KNIGHTSBRIDGE RD 3FL E	PISCATAWAY, NJ	08854
32	18.01	C3	1	471-495 BROAD ST			4A	WASHINGTON PARK FIDELCO, LLC	225 MILLBURN AVE STE 202A	MILLBURN, NJ	070411712
32	29		1	1-11 WASHINGTON ST			15C	CITY OF NEWARK	5 WASHINGTON ST 3RD FLOOR	NEWARK, NJ	071022660
32	39		1	13-21 WASHINGTON ST			15A	RUTGERS %RICHARDSON REAL ESTATE OFF	33 KNIGHTSBRIDGE RD 3FL E	PISCATAWAY, NJ	08854
32	40		1	1-17 JAMES ST			4A	FLEET JAMES STREET LLC	225 MILLBURN AVE #202	MILLBURN, NJ	07041
35	1		1	29-39 WASHINGTON ST			4A	33 WASHINGTON STREET LLC	4706 18TH AVE	BROOKLYN, NY	11204
35	17		1	57-59 WASHINGTON ST			15C	CITY OF NEWARK	920 BROAD ST	NEWARK, NJ	071022660
35	20		1	61-63 WASHINGTON ST	35		15C	NEWARK MUSEUM	49 WASHINGTON ST	NEWARK, NJ	071023176
35	21		1	65 WASHINGTON ST			15C	NEWARK MUSEUM	49 WASHINGTON ST	NEWARK, NJ	071023176

NEWARK

Ras J. Baraka, Mayor

Department of Finance
Office of Assessment
920 Broad St. Room 101
Newark, New Jersey 07102
Tel: 973-733-3950
Fax: 973-733-4779

IMPORTANT INFORMATION

Please note, if any of properties on the attached variance report cross any of the following county roads, parks or state highways, you must notify the appropriate authority.

COUNTY ROADS:

Bloomfield Avenue	Bloomfield Place	Broadway	Irvington Avenue
Franklin Avenue	Central Avenue	Park Avenue	Grove Street
Lyons Avenue	Sanford Avenue	So. Orange Ave.	Springfield Avenue
Stuyvesant Ave	Chancellor Ave		

PARKS:

Branch Brook Park	Independence Park	Ivy Hill Park	River Bank Park
Weequahic Park	West Side Park		

Contact: **Essex County Planning Board**
900 Bloomfield Avenue
Verona NJ 07044
973-226-8500 X2580

STATE HIGHWAYS:

Route 1 & 9 (Carnegie Avenue) **Route 22** **Route 78** **Route 280**
Route 21

Contact: **New Jersey Highway Authority**
1035 Parkway Avenue
Trenton, New Jersey 08625

Garden State Parkway **New Jersey Turnpike (Route 1-95)**

Contact: **New Jersey Highway Authority**
P.O. Box 5042
Woodbridge, New Jersey 07095-5042

ALL APPLICATIONS MUST SEND NOTICE TO THE FOLLOWING:

PUBLIC UTILITIES:

Electric & Gas: **Public Service Electric and Gas Company**
Manager, Corporate Properties
80 Park Plaza, 16B
Newark, New Jersey, 07102
Gas: Tel. 201-538-0133
Electric: Tel. 973-365-2819

Water & Sewer: **City of Newark**
Department of Water & Sewer
920 Broad Street, Room B-31F
Newark, New Jersey 07102
Tel. 973-733-6303

Cable TV: **Altice USA/Cablevision**
New Jersey North Construction Department
40 Potash Road
Oakland, New Jersey 07438
Tel. 201-651-4030

Telephone: **Verizon**
6000 Hadley Road
South Plainfield, New Jersey 07080
Tel. 908-412-6160

Pipeline: **Sunoco Pipeline L.P.**
Right of Way Department
Montello Complex
525 Fritztown Road
Sinking Spring, Pa. 19608

Transcontinental Gas Pipeline Co.
P.O. Box 2400, MD 46-4
Tulsa, Oklahoma 74102

Colonial Pipe Line Co. C/O J. Sapp
1185 Sanctuary Parkway, Suite 100
Alpharetta, Georgia 30004

APPENDIX B:
PHASE IB ARCHAEOLOGICAL SURVEY